



# **AGENDA**

## **ASTORIA PLANNING COMMISSION**

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**September 1, 2015  
6:30 p.m.  
2<sup>nd</sup> Floor Council Chambers  
1095 Duane Street • Astoria OR 97103**

### **WORK SESSION**

1. CALL TO ORDER
2. ROLL CALL
3. NEW BUSINESS
  - a. Riverfront Vision Plan – Neighborhood Greenway Area
4. ADJOURNMENT

**THIS MEETING IS ACCESSIBLE TO THE DISABLED. AN INTERPRETER  
FOR THE HEARING IMPAIRED MAY BE REQUESTED UNDER THE TERMS  
OF ORS 192.630 BY CONTACTING SHERRI WILLIAMS, COMMUNITY  
DEVELOPMENT DEPARTMENT, 503-338-5183.**



**CITY OF ASTORIA  
COMMUNITY DEVELOPMENT  
DEPARTMENT**

August 26, 2015

TO: ASTORIA PLANNING COMMISSION  
FROM: ROSEMARY JOHNSON, SPECIAL PROJECTS PLANNER  
SUBJECT: AMENDMENT A15-03, NEIGHBORHOOD GREENWAY OVERLAY

Background

In 2009 the City of Astoria adopted the Astoria Riverfront Vision Plan. The Riverfront Vision Plan describes a future vision and specific recommended implementation measures related to open space, land use, and transportation plans along the Columbia River waterfront. For purposes of the Riverfront Vision Plan, the City's riverfront was divided into four plan areas: Bridge Vista, Urban Core, Civic Greenway, and Neighborhood Greenway.

Since 2011, the City Council has adopted a goal to Implement the Riverfront Vision Plan on a Zone by Zone basis. Over the last three years, the City has completed updates to the Comprehensive Plan, Development Code, and map amendments to implement policies and recommendations in the City's adopted Riverfront Vision Plan for the Civic Greenway Plan Area (Phase 1) and Bridge Vista Plan Area (Phase 2). The intent of the implementation process is not to revisit or revise recommendations from the Riverfront Vision Plan which has been adopted by the Astoria City Council.

With the completion of Phase 1 (Civic Greenway Area) and Phase 2 (Bridge Vista Area), staff has begun work on Phase 3 (Neighborhood Greenway Area). This Area encompasses the Alderbrook neighborhood north of Lief Erikson Drive to the pier headline between 41st Street and approximately 54th Street.

The City was notified that funding from the Department of Land Conservation and Development (DLCD) Coastal Management Technical Assistance Grants for the FY 2014-2015 grant cycle was awarded to the City to assist in code writing for implementation of Phase 3 of the Astoria Riverfront Vision Plan for the Neighborhood Greenway Area (41st Street to 54th Street). The grant funds need to be expended and the project complete by December 31, 2015.

Matt Hastie, Angelo Planning Group, worked on the original Riverfront Vision Plan and the recent code implementation process for the first two areas will assist with this next phase. A town hall meeting was held last Thursday, August 20, 2015 at the Hampton Inn, to give an overview of the project and obtain public input ahead of any proposed code amendments. Approximately 70 people attended and provided staff with the initial public comments and questions. A summary of their comments and copies of any written comments received are included in the APC packet. The Planning Commission will also hold a work session on



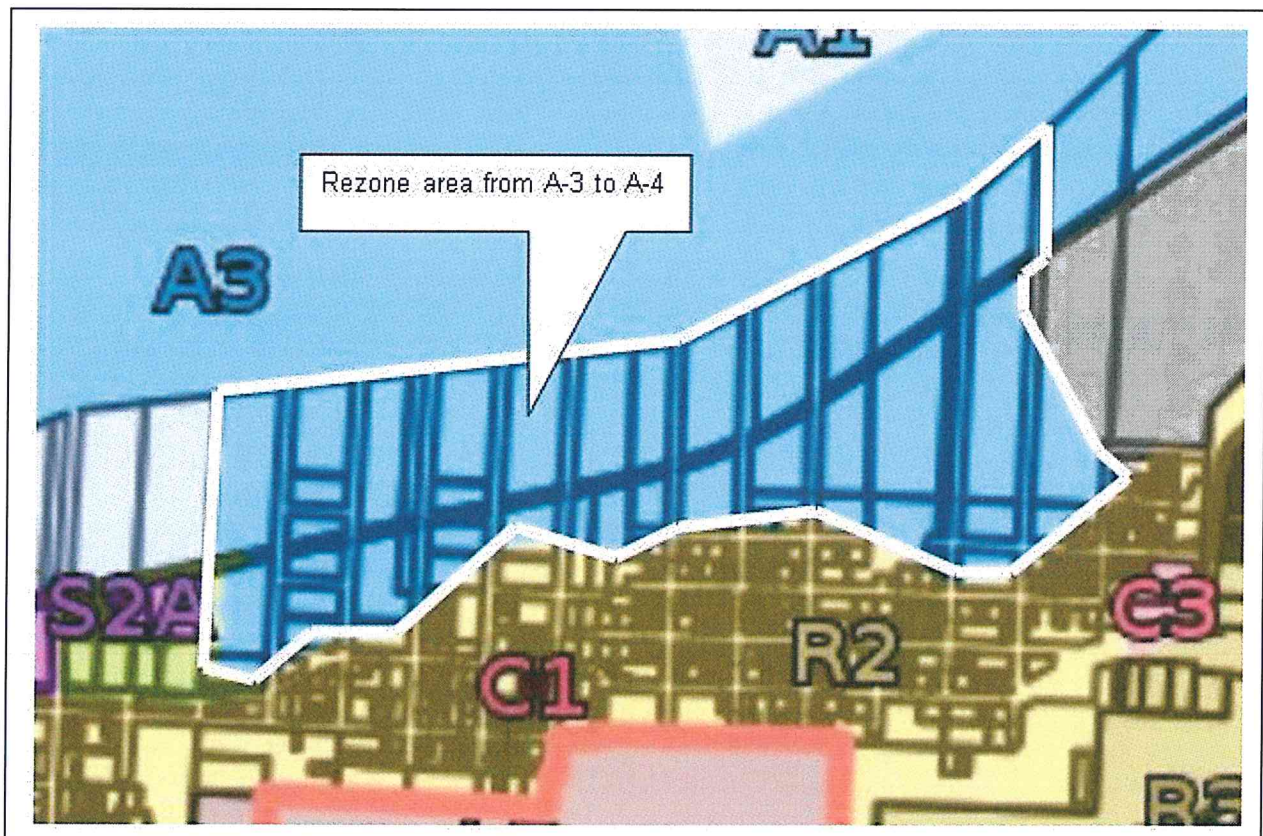
September 16 after the regular APC meeting. A public hearing is tentatively scheduled for October 27, 2015. It is anticipated that a work session and separate public hearing before the City Council may be scheduled for November 2015.

Some of the key issues we heard at the town hall meeting were that Alderbrook should remain as it is. There was general agreement that there should not be additional regulations and/or design review for single-family and two-family dwellings. However, there was some concern about the size and location of residential accessory structures such as pole barns, and for any potential non-residential development allowed within the zone. There was a lot of discussion about traffic and pedestrian impacts to the neighborhood and the cumulative impacts from use of the River Trail and Alderbrook Lagoon Park.

Using the goals identified in the Riverfront Vision Plan for the Neighborhood Greenway Area and the public comments received to date, the project team has drafted some code amendments for consideration for this area. Unlike the previous two Plan Areas, the goals for the Neighborhood Greenway Area emphasize the protection of the natural areas and the residential neighborhood with little or no over-water development. Implementation of recommendations from the Riverfront Vision Plan in the Civic Greenway Plan Area will take the form of both map amendments and code amendments.

Proposed map amendments will include:

1. Rezone the water area between 41st Street and the east side of Alderbrook Lagoon from A-3 (Aquatic Conservation) to A-4 (Aquatic Natural)
2. Apply the new Civic Greenway Overlay (CGO) Zone to the Civic Greenway Plan Area.



Proposed Development Code text amendments will include:



1. Create the Neighborhood Greenway Overlay Zone.
2. Establish design/siting standards for new, detached residential accessory structures.
3. Establish design/siting standards for new, non-residential construction. There would be no design standards for single-family and two-family dwellings.
4. Establish landscaping standards for non-residential construction/uses. There would be no landscaping standards for single-family and two-family dwellings.
5. Allow some exemptions for the few existing over-water buildings to continue to be viable businesses thereby preserving the historic structures.
6. Limit new, over-water development to maximum height of top of bank.

Proposed Comprehensive Plan text amendments will include:

1. Update the description of the Alderbrook Area and reference the Neighborhood Greenway Overlay Area.
2. Acknowledge the growing impact of traffic to the neighborhood.
3. Add a policy to investigate the possibility of extending the trolley to the Alderbrook area

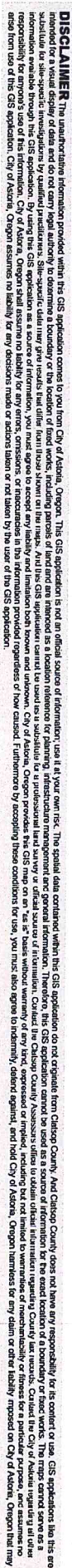
The draft amendments are included in the APC packet. Several items are identified with specific questions and/or directions from the APC for staff on how to proceed with the code development. These items will be discussed in more detail at the work session.

Staff and the project consultant, Matt Hastie, Angelo Planning Group, will be present at the APC work session to give an overview of the draft amendments as developed, solicit public comments, and discuss the amendments with the Astoria Planning Commission. The draft materials are accessible on the City's web site at [www.astoria.or.us](http://www.astoria.or.us), Community Development, Projects, Riverfront Vision Plan, or they can be viewed at City Hall, 1095 Duane Street.

The draft amendments are tentatively scheduled for a public hearing before the Planning Commission at their October 27, 2015 meeting. The APC recommendation is tentatively scheduled to be forwarded to the City Council for a public hearing at the November 16, 2015 City Council meeting.



**CITY OF ASTORIA**  
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ORDINANCE NO. 15-\_\_\_\_\_

AN ORDINANCE AMENDING THE ASTORIA DEVELOPMENT CODE AND LAND USE AND ZONING MAP PERTAINING TO IMPLEMENTATION OF THE ASTORIA RIVERFRONT VISION PLAN IN THE NEIGHBORHOOD GREENWAY AREA

THE CITY OF ASTORIA DOES ORDAIN AS FOLLOWS:

Section 1. Section 14.\*\*\* through 14.\*\*\* pertaining to the Neighborhood Greenway Overlay Zone is added to read as follows:

**“NGO: NEIGHBORHOOD GREENWAY OVERLAY ZONE**

14.\*\*\*. PURPOSE.

The purpose of the Neighborhood Greenway Overlay Zone is to implement the land use principles of the Astoria Riverfront Vision Plan, dated December 2009, as they pertain to the Neighborhood Greenway Plan Area. The Neighborhood Greenway Overlay (NGO) Zone is intended to protect views of and access to the Columbia River, provide for an enhance open space and landscaping, support limited water-dependent uses consistent with Astoria’s working waterfront. The NGO Zone extends from approximately 41st Street to the east side of Alderbrook neighborhood at 54th Street and between Lief Erikson Drive and the pier head line of the Columbia River as depicted on the City’s Zoning Map.

14.\*\*\*. APPLICABILITY AND REVIEW PROCEDURES.

The provisions of the Neighborhood Greenway Overlay Zone shall apply to all new construction or major renovation, where “major renovation” is defined as construction valued at 25% or more of the assessed value of the existing structure, unless otherwise specified by the provisions in this Ordinance.

Review of applications in the Neighborhood Greenway Overlay Zone is subject to the administrative procedures and approval of the Community Development Director established in Article 9.

A. Residential Development Exception

These standards shall not apply to the primary structure of single-family and two-family dwellings.

B. Residential Development

Applications for detached accessory structures associated with single-family and two-family dwellings may be reviewed administratively subject to the Design Review Standards in Section 14.\*\*\* {14.060.A and 14.065.B are the existing old #} or through the public design review process subject to the Design Review Guidelines in Section 14.065.C.



C. Non-Residential, Multi-Family Residential, and Mixed Use Development.

Applications shall be reviewed through the public design review process subject to the Design Review Standards in Section 14.\*\*\*.

14.\*\*\* ALLOWABLE USES FOR OVERWATER DEVELOPMENT.

Outright and Conditional uses within the Neighborhood Greenway Overlay Zone shall be limited to allowable uses in the A-4 Zone (Aquatic Natural) with the following exceptions:

1. In pile supported buildings existing prior to October 1, 2002, non-water-dependent or non-water-related uses as follows are allowed as a conditional use:
  - a. Arts and crafts studios.
  - b. Bed and breakfast, home stay lodging, or inn.
  - c. Home occupation.
  - d. Professional and business office, personal service establishment limited to beauty and barber services and garment alterations.
  - e. Residential home.
  - f. Single-family dwelling.
  - g. Two-family dwelling.
  - h. Multi-family dwelling.
  - i. Off-street parking requirements for the above uses may be located in the upland zone adjacent to the use. The Planning Commission may impose additional landscape buffering to protect the adjacent residential uses.

14.\*\*\*. STANDARDS FOR OVERWATER DEVELOPMENT.

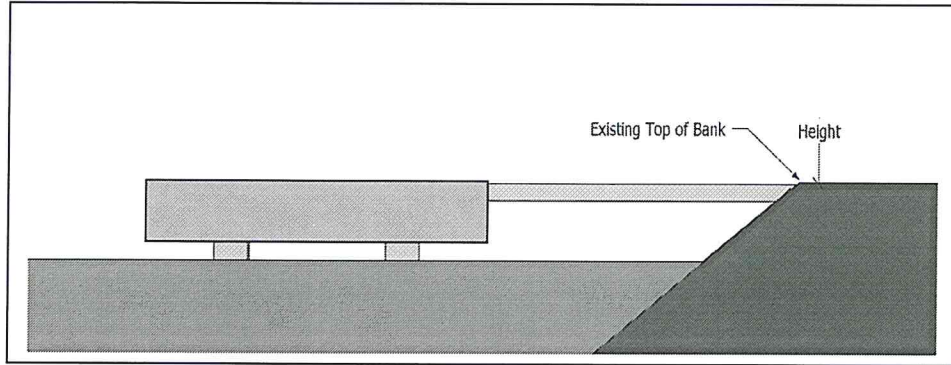
The following development standards apply to overwater development in the Neighborhood Greenway Overlay Zone. The Overwater Development standards shall also apply to on-land development north of the River Trail and/or 50' wide railroad line property between 41st Street and approximately 54th Street. In the event of a conflict between this Section and other Sections of the Astoria Development Code, this Section shall control.

Maintenance, repair, or restoration of buildings existing prior to 2002 shall be exempt from the standards of this Section. Additions and/or new construction on these buildings shall be subject to these standards.

A. Height.

1. Maximum building height, except hand rails, shall be the top of the existing adjacent riverbank. No variance may be granted for an exception to this height limitation.

**Figure 14.055-1: Maximum Building Height**



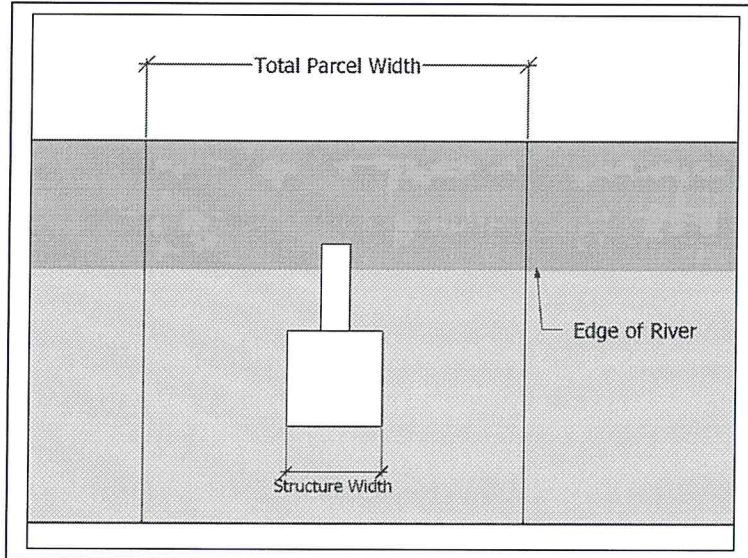
B. Size.

With the limited allowable uses, and the maximum height of top of bank, is there a need to limit the size of any over-water building.

C. Width.

The maximum width of an overwater structure is 25% of the total parcel width (measured along the parcel frontage adjacent to the Columbia River) or 50 feet, whichever is smaller. In cases where total parcel width is 100 feet or less, the structure width may be up to 25 feet.

**Figure 14.055-2: Maximum Building Width**



14.060. STANDARDS FOR ON-LAND DEVELOPMENT.

The following development standards apply to on-land development in the Neighborhood Greenway Overlay Zone south of the River Trail and/or 50' wide railroad line property. The Overwater Development standards shall apply to on-land development north of the River Trail



and/or 50' wide railroad line property. In the event of a conflict between this Section and other Sections of the Astoria Development Code, this Section shall control.

A. Residential Accessory Structures.

Residential accessory structures may be permitted if they comply with all of the following:

1. Setback.

Do not extend into required setbacks; or

Are located in the rear yard setback no closer than five (5) feet from the rear property line and comply with the following;

- a. Do not exceed ten (10) feet in height; and
- b. Occupy no more than 2% of the total lot area; and
- c. Do not exceed 100 square feet.

2. Height.

- a. Shall not exceed the maximum height of the primary single-family or two-family residential structure at the ridge line; or
- b. Shall not exceed two stories; or
- c. Shall not exceed the maximum height of the zone, whichever is less.

3. Associated Use.

Use of an accessory structure shall be permitted only as accessory to a use permitted outright or a conditional use on the same lot.

4. Size.

- a. The square footage of the accessory structure shall not exceed 50% of the square footage of the primary residential structure; or
- b. Maximum square footage shall be 600 square feet, whichever is less.

5. Location.

- a. Shall not be permitted in the front yard.

- b. Shall not be permitted in the side yard areas extending beyond the front plane of the primary residential structure.

#### 14.065. DESIGN STANDARDS.

##### A. Applicability.

###### 1. Residential.

- a. Single-family and two-family dwellings are not subject to the design standards.
- b. Detached single-family and two-family accessory structures proposed in the Neighborhood Greenway Overlay Zone may be reviewed in accordance with one of two review options:

Should the accessory structure be reviewed administratively without public notice. Should non-residential permits be reviewed administratively with public notice, or reviewed by the Design Review Cmte

- (1) Applications in compliance with Section 14.\*\*\* B shall be reviewed pursuant to procedures for administrative review by the Community Development Director established in Article 9 and the following design review standards for residential development; or
- (2) All other applications shall be reviewed pursuant to design review procedures in Article 9 and the design review guidelines applicable to all building types established in Section 14.\*\*\*.C.

###### 2. Non-Residential Uses.

All uses other than residential accessory structures, single-family and two-family dwellings proposed in the Neighborhood Greenway Overlay Zone shall be reviewed pursuant to the design review procedures in Article 14.

##### B. Residential Accessory Structure Design Standards.

The following design standards apply to the administrative review of residential accessory structures, unless specified otherwise.

###### 1. Siding.

Siding shall match the existing primary residential structure. A change in materials shall be permissible if the appearance matches the existing primary residential structure material. Metal siding is prohibited.

###### 2. Roof.

- a. Roof material shall match the existing primary residential structure. A change in materials shall be permissible if the appearance matches the



existing primary residential structure material. Metal roofs are permissible on structures not exceeding 300 square feet.

- b. Roof pitch shall match the roof pitch of the existing primary residential structure.

C. Multi-Family Development and Non-Residential Development Design Standards.

1. Building Forms.

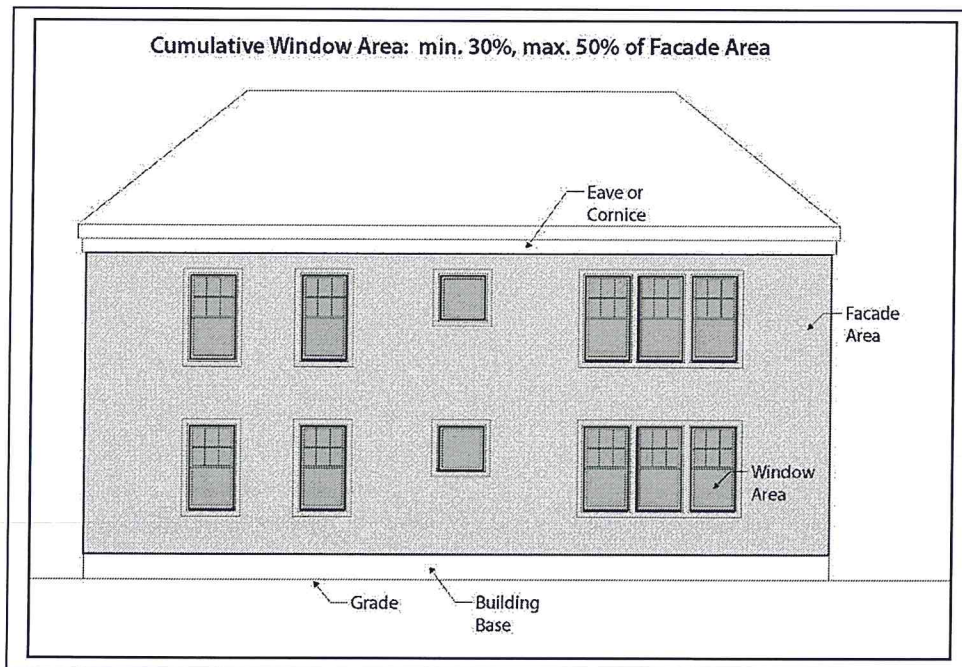
- a. All buildings shall be based on a rectangular or square form.
- b. All multi-family dwelling unit buildings shall have a front porch, at least six (6) feet deep and 60 square feet in area.

2. Window Design.

The following design standards apply to all facades.

- a. Windows required. All facades facing a right-of-way, River Trail, or common open space shall have windows.
- b. Window area. Window area shall cover a minimum of 30% of all street-facing facade areas and shall not exceed 50% of street-facing facade areas.

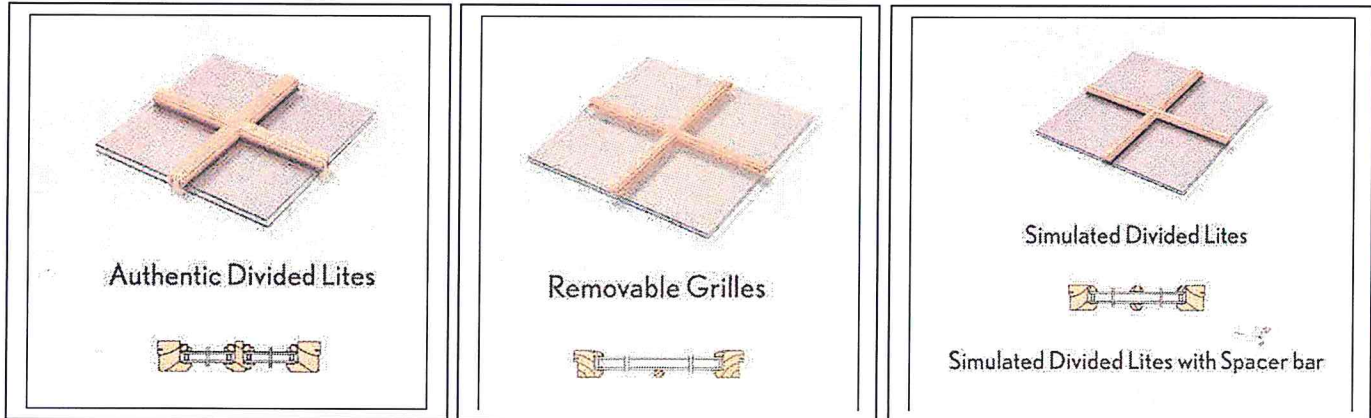
**Figure 14.065-2: Window Area**



c. Window lites. Window lite design shall be one of the following:

- 1) Single-lite windows; or
- 2) Multiple-lite true-divided windows; or
- 3) Combination of single and multiple-lite true-divided windows; or
- 4) Applied muntins with profile facing window exterior.

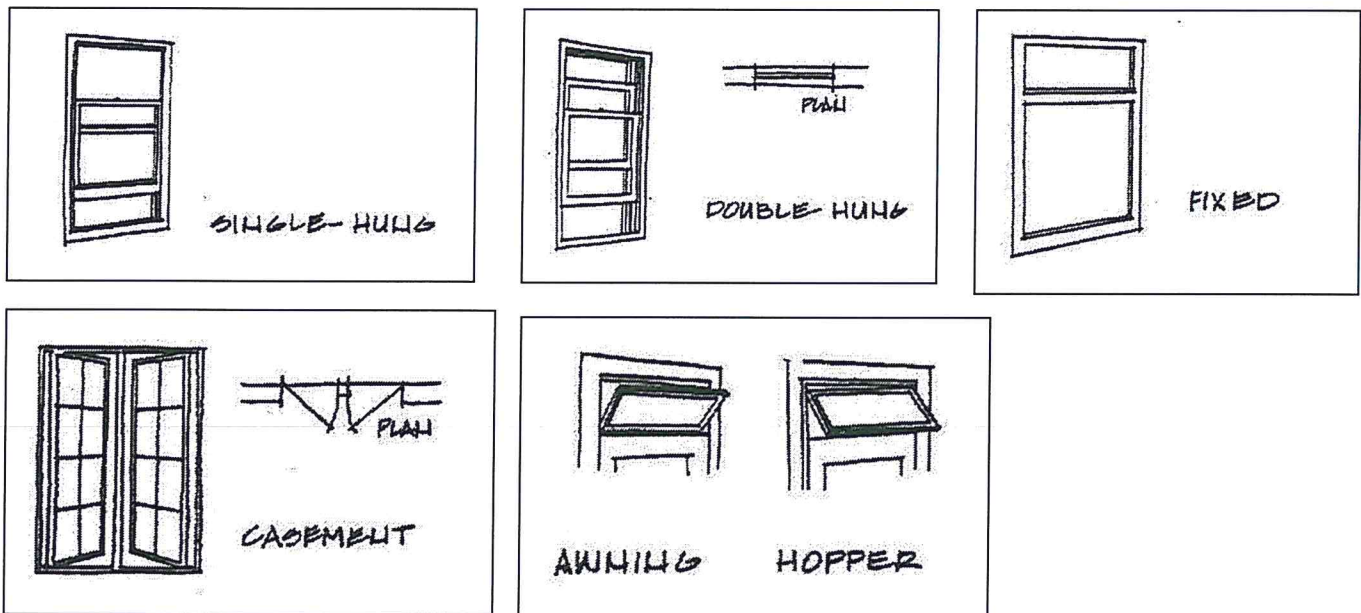
**Figure 14.065-3: Window Lites**



d. Windows shall be fixed or open in one of the following configurations:

- 1) Fixed window; or
- 2) Single-hung windows; or
- 3) Double-hung windows; or
- 4) Awning or hopper windows; or
- 5) Casement windows.

**Figure 14.065-4: Fixed and Opening Windows**



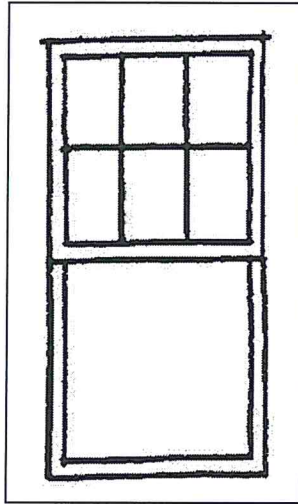


e. Window shape. Window shape shall be one of the following:

- 1) Vertical rectangle; or
- 2) Square.
- 3) Arched or decorative windows are permitted but should not exceed more than 30% of the total window coverage on all facades of the building.

**Figure 14.065-5: Window Shapes**

*Vertical rectangular window*



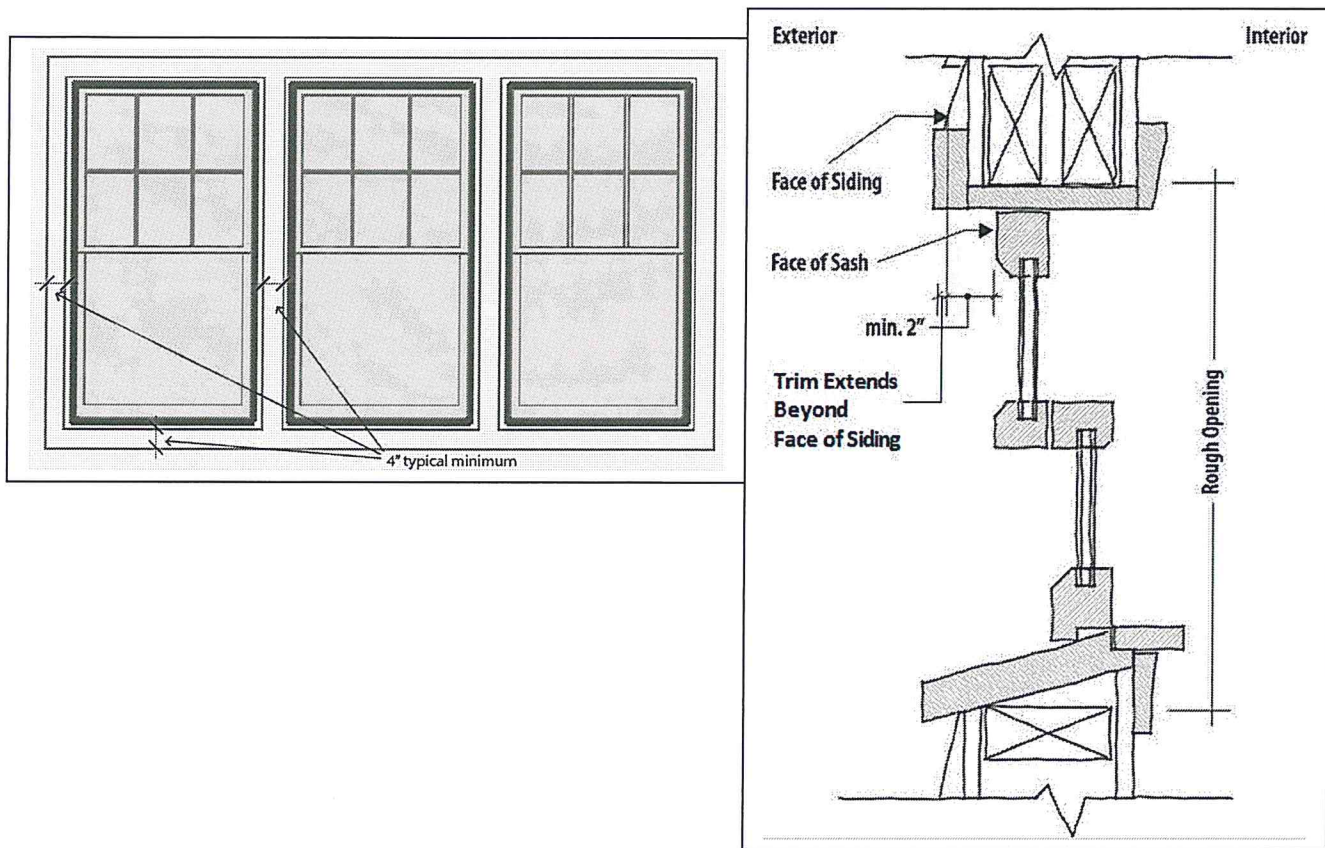
*Examples of arched or decorative windows*



f. Window detailing. Windows shall have casings/trim, sills, and crown moldings. Window detailing shall meet the following requirements.

- 1) Casings/trim shall have minimum dimensions of 5/4 inch x 4 inch and shall extend beyond the facade siding.
- 2) Windows shall be recessed a minimum distance of two (2) inches from the trim surface to ensure a shadow line/effect.

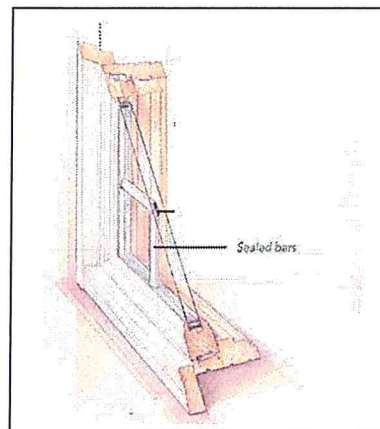
**Figure 14.065-6: Window Detailing – Trim and casement location and dimensions**



- g. Window design prohibited. The follow window design features are prohibited.
- 1) Applied muntins that have no profile.
  - 2) Smoked, tinted, or frosted glass, except for bathroom windows not on the street-facing facade.
  - 3) Mirrored glass.

**Figure 14.065-7: Window Design Prohibited**

*Muntins with no profile*

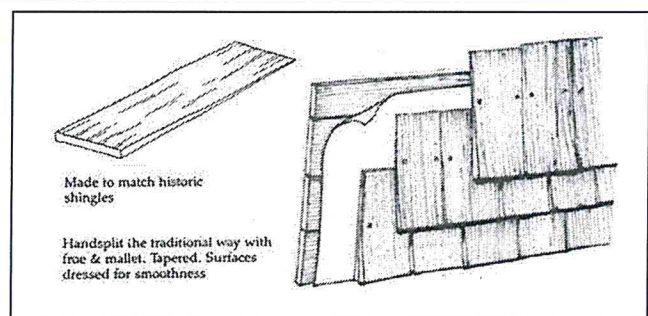
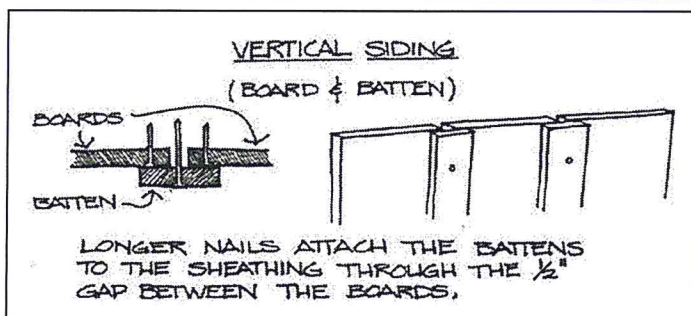
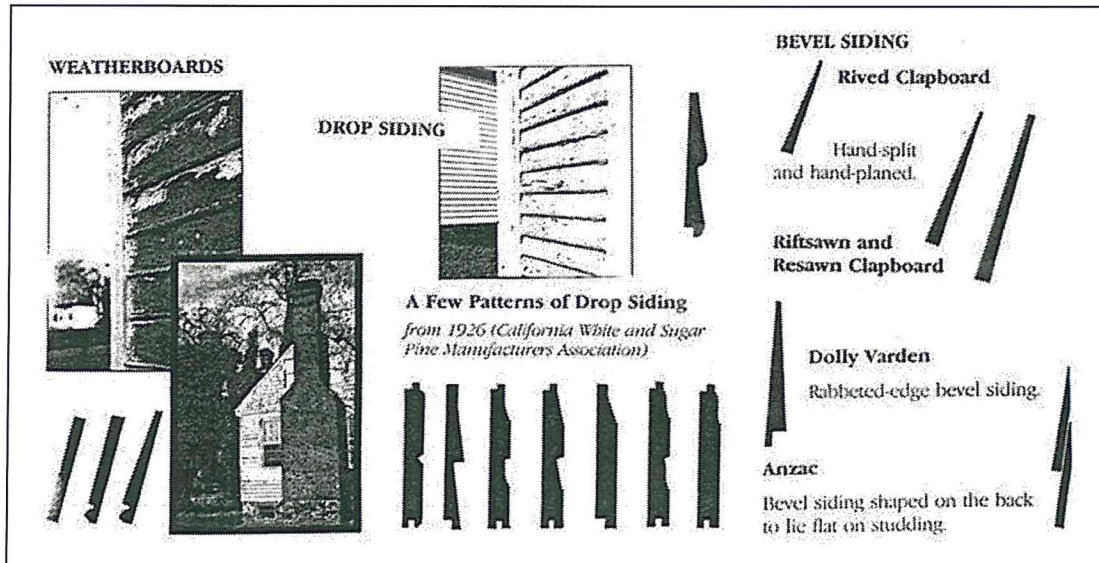


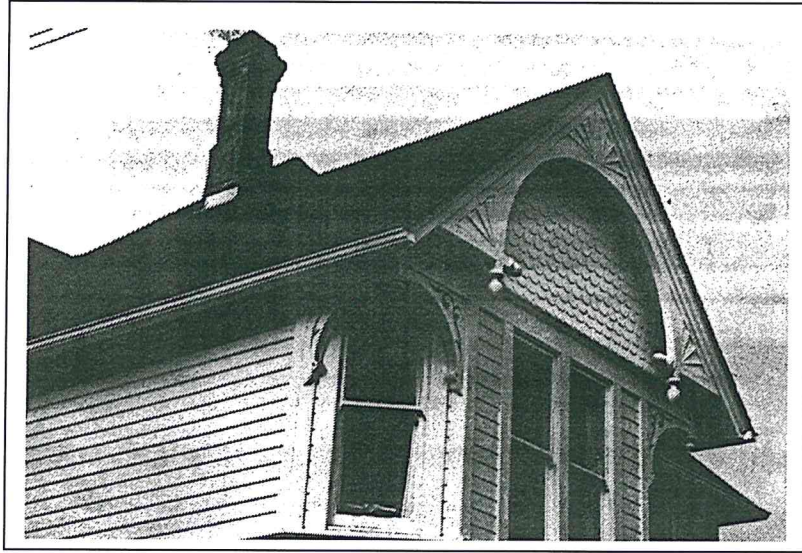


3. Exterior Wall Treatments and Materials.

- a. A minimum of 80% of exterior walls shall be constructed of one or more of the following sets of treatments and materials.
- 1) Drop siding; or
  - 2) Weatherboard siding; or
  - 3) Clapboard; or
  - 4) Rectangular wood shingle or shake; or
  - 5) Decorative wood shingle or shake; or
  - 6) Board and batten.
- b. Horizontal siding shall have six inches or less exposure.
- c. Vertical board and batten shall have true battens.

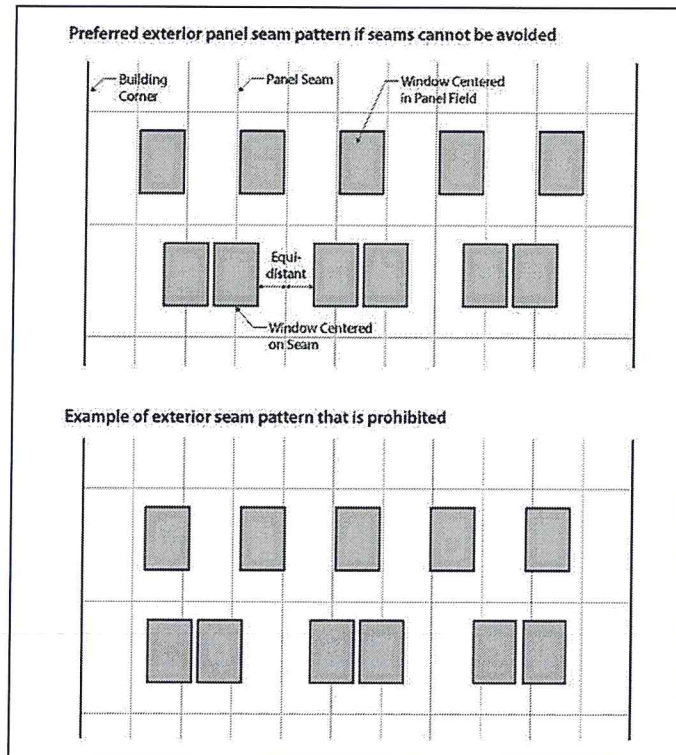
**Figure 14.065-8: Exterior Walls – Permitted Materials**





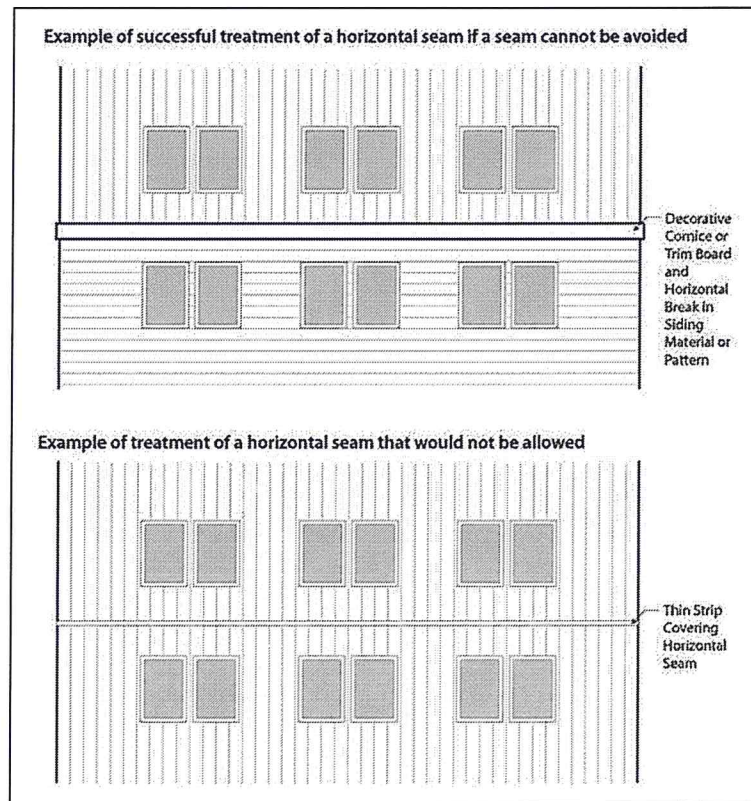
- d. Paneled material shall be applied in a manner which avoids the occurrence of seams along the wall plane. Where seams cannot be avoided, they shall be located in a manner that relates logically to windows and other architectural features of the facade. Horizontal seams shall be covered by a trim board or cornice piece.

**Figure 14.065-9: Exterior Walls – Seam Treatment**





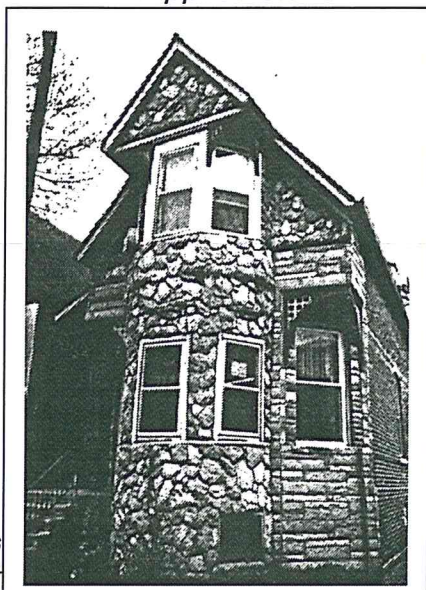
**Figure 14.065-10: Exterior Walls – Horizontal Seam Treatment**



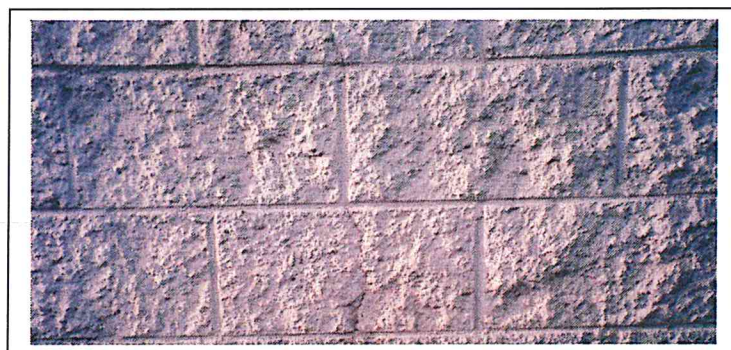
- e. Exterior wall treatments and materials prohibited. The following types of treatments and materials are prohibited.
- 1) Exposed textured concrete block.
  - 2) Flagstone or other applied stone products.
  - 3) Precast concrete or decorative concrete panels.
  - 4) Plywood paneling.

**Figure 14.065-11: Exterior Wall Treatments and Materials Prohibited**

*Applied stone*



*Textured concrete*



#### 4. Roof Elements.

For non-residential design review, should roofs be similar to adjacent properties. Should the other roof elements be limited.

a. Roof design shall have a pitch no greater and/or no less than the adjacent residential buildings.

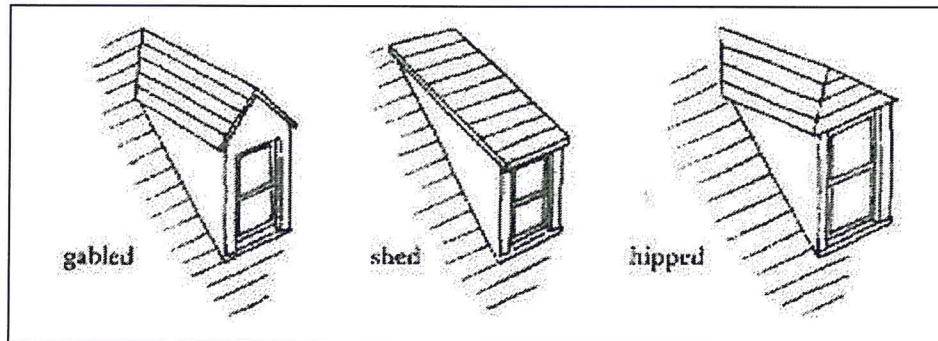
b. Roof elements permitted. The following roof design elements are permitted.

1) Dormers with gable, hip, or shed roofs.

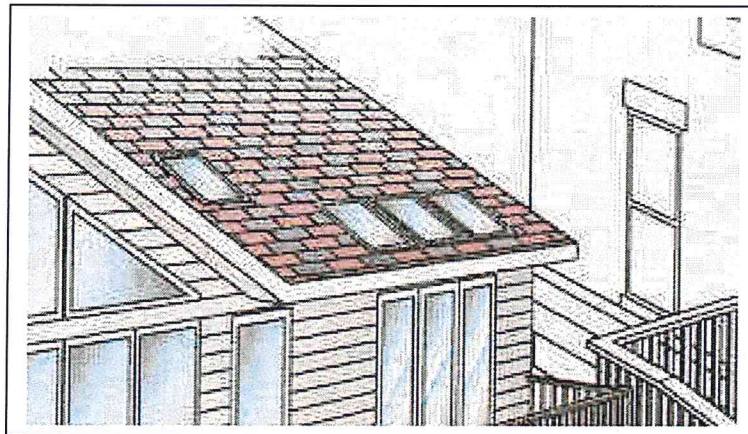
2) Flat panel skylights or roof windows on secondary elevations.

**Figure 14.065-13: Roof Elements Permitted**

*Gabled, shed, and hipped dormers*



*Flat panel skylights*



c. Roof elements prohibited. The following roof design elements are prohibited.

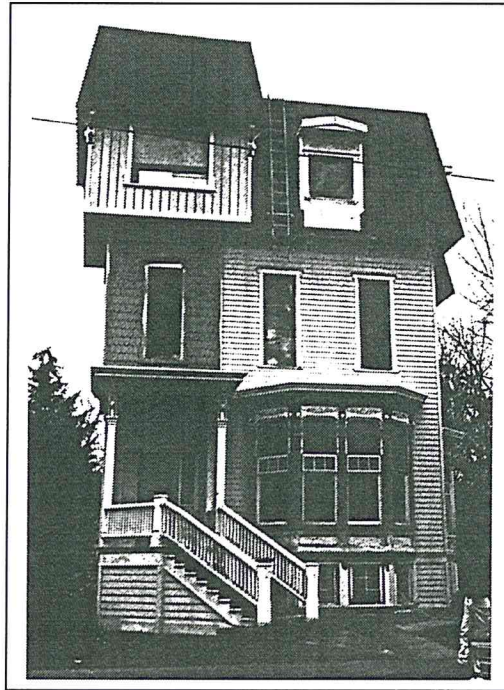
1) False mansard or other applied forms.

2) Dome skylights.



Figure 14.065-14: Roof Elements Prohibited

*False mansard roof*



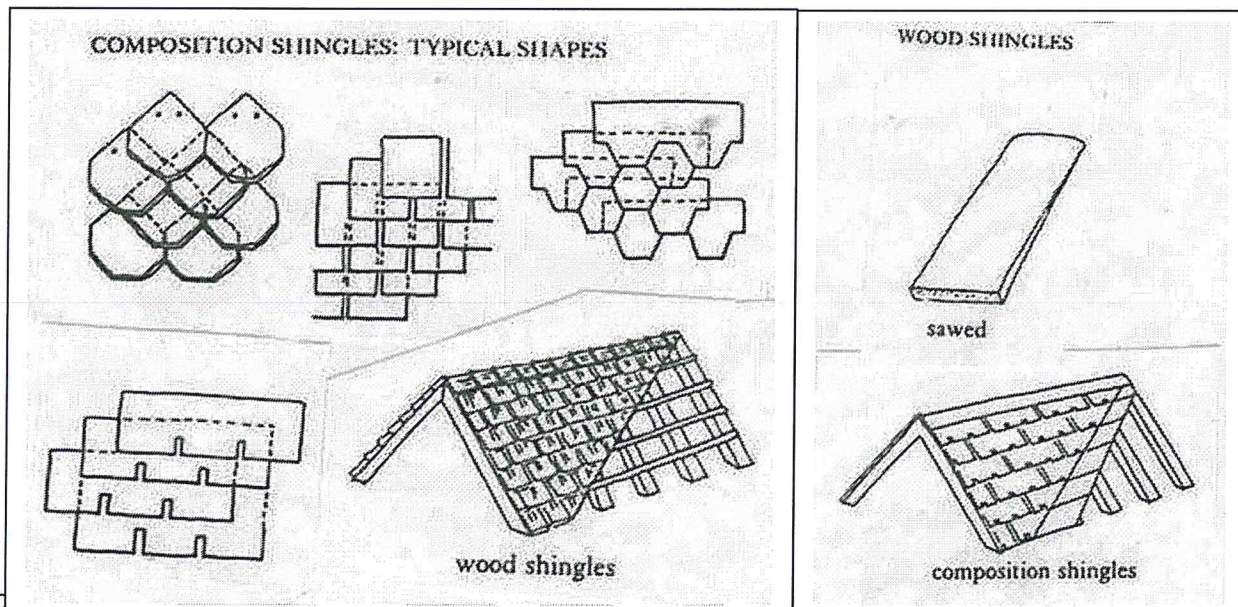
5. ~~Roofing Materials.~~

On non-residential development, should roofing material be reviewed. It is included here with strike out to suggest it may not be necessary

a. ~~Roofing shall be one of the following materials:~~

- ~~1) Wood shingle; or~~
- ~~2) Composition roofing; or~~
- ~~3) Metal with no profile seams or low-profile seams (less than 1/4 inch x 1 1/4 inch).~~

Figure 14.065-15: ~~Roofing Material Permitted~~



b. ~~Roofing material color. Roofing material shall be gray, brown, dark green, black, or deep red. Other subdued colors may be approved by the Community Development Director.~~

c. ~~Roofing materials prohibited. The following roofing materials are prohibited.~~

Should these roofing materials be prohibited on non-residential structures.

1) ~~High profile standing seam (1/4 inch x 1 1/4 inch or greater) metal roof.~~

2) ~~Brightly colored roofing material, as determined by the Community Development Director.~~

**~~Figure 14.065-16: Roofing Material Prohibited~~**

*High profile metal seam roof*



6. Signs.

Signs are subject to the sign provisions in Section 8.040 and 8.160.

7. Doors.

- a. Doors shall have at least one lite (glass) panel.
- b. Sliding doors are not permitted on the ground floor of the front facade.
- c. All materials are permitted.
- d. Metal or metal-clad doors shall be painted.

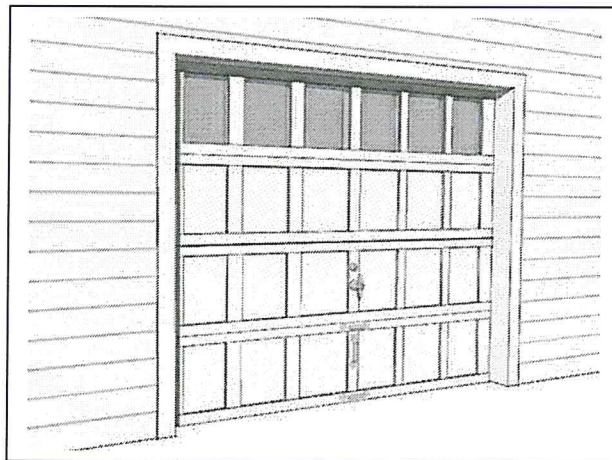


8. Garage Doors.

The following design standards apply to attached and detached garages:

- a. A minimum of 10% of each garage door shall be window panels, raised trim, or other architectural details.

**Figure 14.065-17: Garage Doors Permitted**



14.070. OTHER DEVELOPMENT STANDARDS.

- A. The following development standards are applicable within the Neighborhood Greenway Overlay Zone.

1. Exterior lighting.

Outdoor lighting shall be designed and placed so as not to cast glare into adjacent properties. Light fixtures shall be designed to direct light downward and minimize the amount of light directed upward. The Community Development Director may require the shielding or removal of such lighting where it is determined that existing lighting is adversely affecting adjacent properties or contributing to light directed into the night sky.

2. Fences.

Fences located between the River Trail and the Columbia River shall not exceed a height of three (3) feet.

14.075. LANDSCAPING.

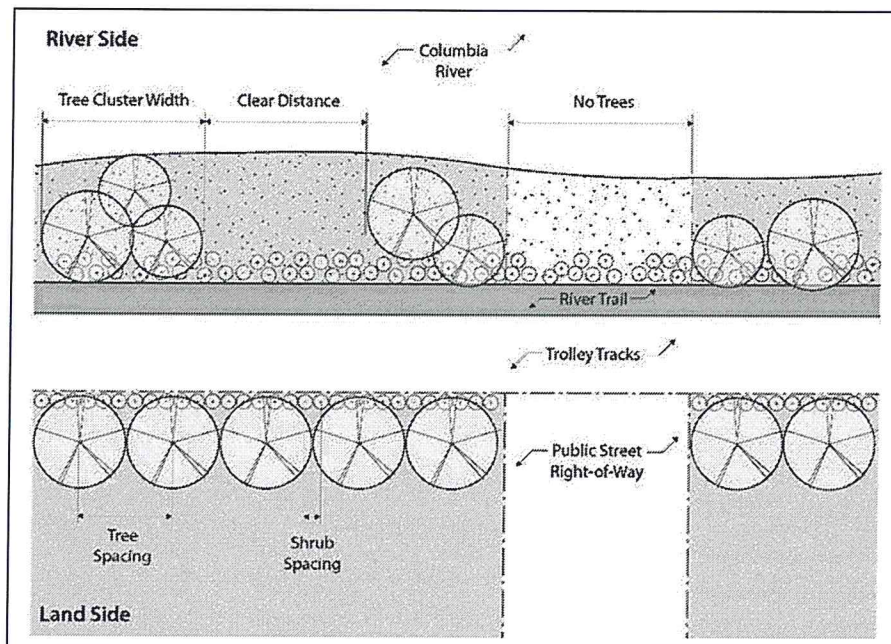
Landscaping is required in the Neighborhood Greenway Overlay Zone in accordance with the provisions in this Section and those in Section 3.120 to 3.125. The provisions in this Section apply to new construction or exterior renovations with a value of at least 20% of the assessed value of the structure, or in the event of installation of new parking areas for multi-family

dwelling and/or development other than single-family or two-family dwellings. Single-family and two-family dwellings are not subject to the landscaping standards except as noted.

A. River Side or Riparian Standards.

1. Height and Spacing.
  - a. Maximum shrub height is 30 inches.
  - b. Maximum width of clusters of trees is 30 feet.
  - c. Clusters of trees shall have a minimum of 50 feet clear between branches at maturity.
  - d. Trees are not permitted to be planted on the river side of the River Trail within the extended public right-of-way or view corridor extending from it for a distance of 70 feet centered on the right-of-way centerline.
  - e. Trees shall not exceed 25 feet in height at maturity
  - f. Maximum height of fences is three (3) feet.

**Figure 14.120-1: River Side/Riparian Landscaping**



2. Native Plants.

See Section 3.125 concerning use of native plants and list of recommended native plants.



3. Landscaping Credits for Non-Vegetation Features.

- a. The Community Development Director may approve non-vegetative features to account for up to 40% of required landscaping when the features consist of hardscaped pedestrian-oriented areas (e.g., courtyards, plazas). Permeable paving and other stormwater management techniques are encouraged in the design of these areas.
- b. An application proposing more than 40% of required landscaping be credited by non-vegetative features is subject to approval in accordance with procedures in Article 9 and Article 12.
- c. Non-vegetative features allowed in the public right-of-way and/or on the River Trail in lieu of required landscaping shall be maintained by the applicant. There shall be a maintenance agreement or other City approved agreement. Failure to maintain or loss of the non-vegetative feature will result in the requirement for installation of the landscaping in accordance with the Code at the time of the loss.

2. Parking Area Landscaping.

- a. Landscaping required between parking areas, streets, and sidewalks in accordance with Section 3.120.A.7 shall also be required between parking areas and the River Trail.
- b. Landscaping shall minimize pedestrian exposure to parking lots with a hedge or a decorative fence that is 36" to 42" high.
- c. Maximum tree height and width in parking areas shall be 15 feet at maturity.

3. Landscaping Credits for Non-Vegetation Features.

- a. The Community Development Director may approve non-vegetative features to account for up to 25% of required landscaping when the features consist of the following:
  - (1) Hardscaped pedestrian-oriented areas (e.g., courtyards, plazas); and/or
  - (2) At least one of the following amenities meeting the City approved design within the public right-of-way and/or River Trail right-of-way:
    - (a) bike rack
    - (b) bench

- (c) table
- (d) drinking fountain
- (e) directional or interpretive/information signage
- (f) trash or recycling container
- (g) lighting
- (h) restroom

Permeable paving and other stormwater management techniques are encouraged in the design of these areas.

- b. An application proposing more than 25% of required landscaping be credited by non-vegetative features is subject to approval in accordance with procedures in Article 9 and Article 12.
- c. Non-vegetative features allowed in the public right-of-way and/or on the River Trail in lieu of required landscaping shall be maintained by the applicant. There shall be a maintenance agreement or other City approved agreement. Failure to maintain or loss of the non-vegetative feature will result in the requirement for installation of the landscaping in accordance with the Code at the time of the loss.

#### C. Street Trees.

Street trees planted within the right-of-way along either side of the street in the Neighborhood Greenway Overlay Zone shall be planted in accordance with the provisions in this Section.

This Section shall apply to all street trees planted including those for single-family and two-family dwellings.

- 1. Spacing should be 30 feet on center, depending on species and branching habit.
- 2. Minimum size of deciduous trees should be 2" caliper, with an upright form.
- 3. Mature branching height should be a minimum of 15 feet.
- 4. Required street trees shall be maintained by the adjacent property owner and/or other identified entity. There shall be a maintenance agreement or other City approved agreement.

Section 2. Astoria Development Code Section 1.300 pertaining to Establishment of Zones is hereby amended with the addition to read as follows:

"Neighborhood Greenway Overlay

NGO"



Section 3. Section 3.190.F pertaining to Nonconforming Structures is added to read as follows:

"F. Reconstruction of Existing Non-Conforming Overwater Buildings

Nonconforming overwater buildings located between 16th and 41st Street within the Civic Greenway Overlay Area existing prior to 2013, and between 41st and approximately 54th Street in the Neighborhood Greenway Overlay Area existing prior to 2015 may be rebuilt if unintentionally destroyed by any means to an extent exceeding 80% of its fair market value as indicated in Section 3.190.D, provided the reconstruction of the building complies with the following standards:

1. The building shall be rebuilt on the same location on the lot, or in compliance with the setback standards for the underlying zone. This does not allow any construction beyond the property lines; and
2. The square footage of the replacement structure and/or replacement uses does not exceed the square footage of the original structure and use classifications by more than 10%; and
3. The height of the building shall be the same or less than the existing building height prior to destruction; and
4. If the property is within an area subject to architectural design review standards, the design of the replacement structure shall comply with those architectural standards; and
5. Substantial construction of the building shall begin within two years of the date of destruction, unless an extension has been granted in accordance with Section 9.100; and
6. All other City and Building Codes relative to construction, including but not limited to, geologic concerns, stormwater management, grading, driveways, sidewalks, etc. shall apply."

Section 4. Section 3.180.D pertaining to Nonconforming Uses is added to read as follows:

"D. Reestablishment of Existing Non-Conforming Uses in Overwater Buildings

Nonconforming uses in overwater buildings located between 16th and 41st Street within the Civic Greenway Overlay Area existing prior to 2013, and between 41st and approximately 54th Street within the Neighborhood Greenway Overlay Area existing prior to 2015 may be reestablished if the building housing the use is unintentionally destroyed by any means to an extent exceeding 80% of its fair market value as indicated in Section 3.190.D, provided the reconstruction of the building complies with the standards in Section 3.190.F and reestablishment of the use occurs within one year of the completion of construction. Completion of construction shall be determined

by issuance of a temporary and/or final Certificate of Occupancy from the Building Official.”

Section 5. The 1992 Astoria Land Use and Zoning Map is amended to apply the Neighborhood Greenway Overlay (NGO) Zone as indicated on the map shown as Attachment A and further described below:

The area is generally described as 41st Street to 54th Street north of Lief Erikson Drive to the pier head line.

Section 6. The 1992 Astoria Land Use and Zoning Map is amended to rezone the following area from A-3 (Aquatic Conservation) to A-4 (Aquatic Natural) as indicated on the map shown as Attachment B and further described below:

The water area generally described as 41st Street to approximately 53rd Street north of the shoreline to the pier head line.

Section 7. Section 9.100.B, Permit Extensions, is amended to read as follows:

“Permit extension may be granted for all land use permits. Extensions may also be granted for time limits applicable to non-conforming buildings and/or non-conforming uses located over water between 16th and 41st approximately 54th Streets as described in Sections 3.180.D and 3.190.F. One year extensions may be granted in accordance with the requirements of this Section as follows:”

Section 8. Astoria Development Code Section 14.015.A, Gateway Overlay Zone, General Provisions, map exhibit only is deleted in its entirety.

Section 9. Effective Date. This ordinance and its amendment will be effective 30 days following its adoption and enactment by the City Council.

ADOPTED BY THE COMMON COUNCIL THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2015.

APPROVED BY THE MAYOR THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2015.

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Brett Estes, City Manager

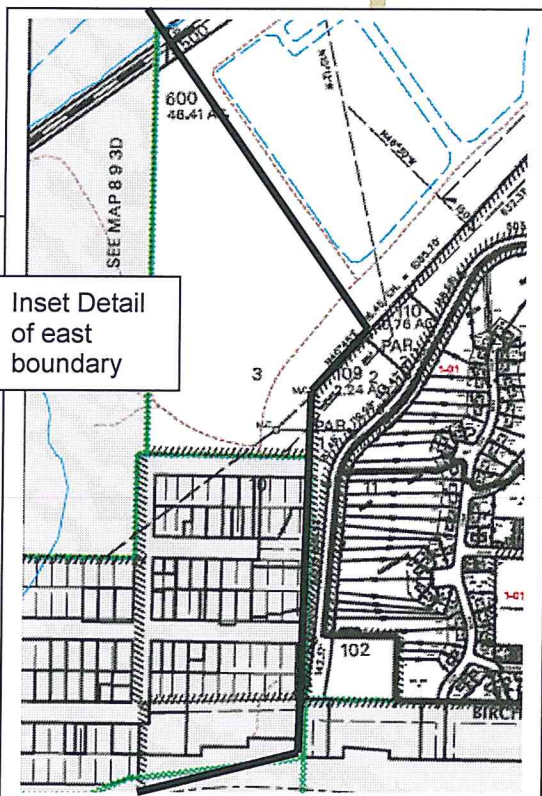
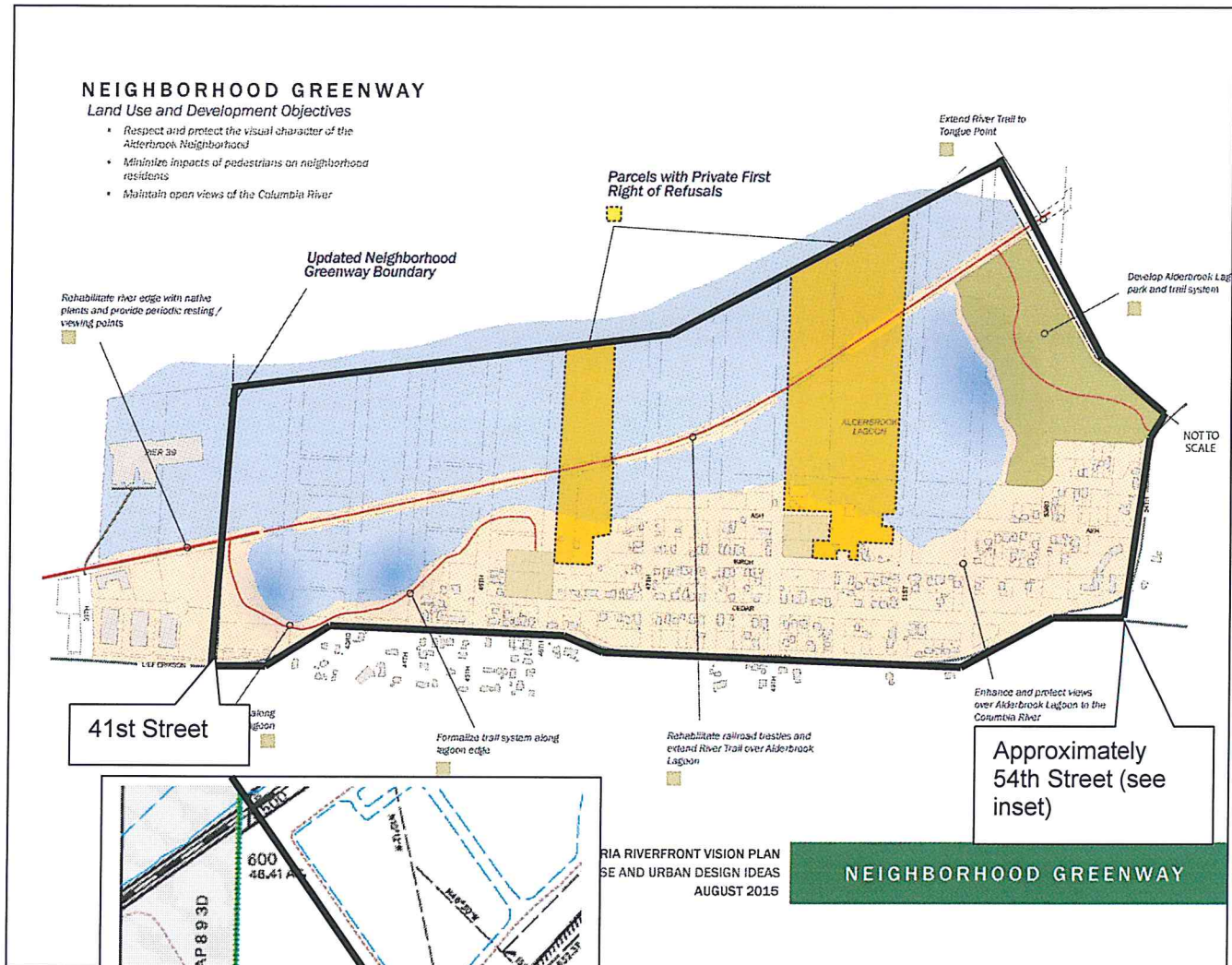
ROLL CALL ON ADOPTION:                      YEA                      NAY                      ABSENT



Commissioner	Nemlowill
	Herzig
	Price
	Warr
Mayor LaMear	

# Ordinance 14-\_\_\_\_ - Attachment A

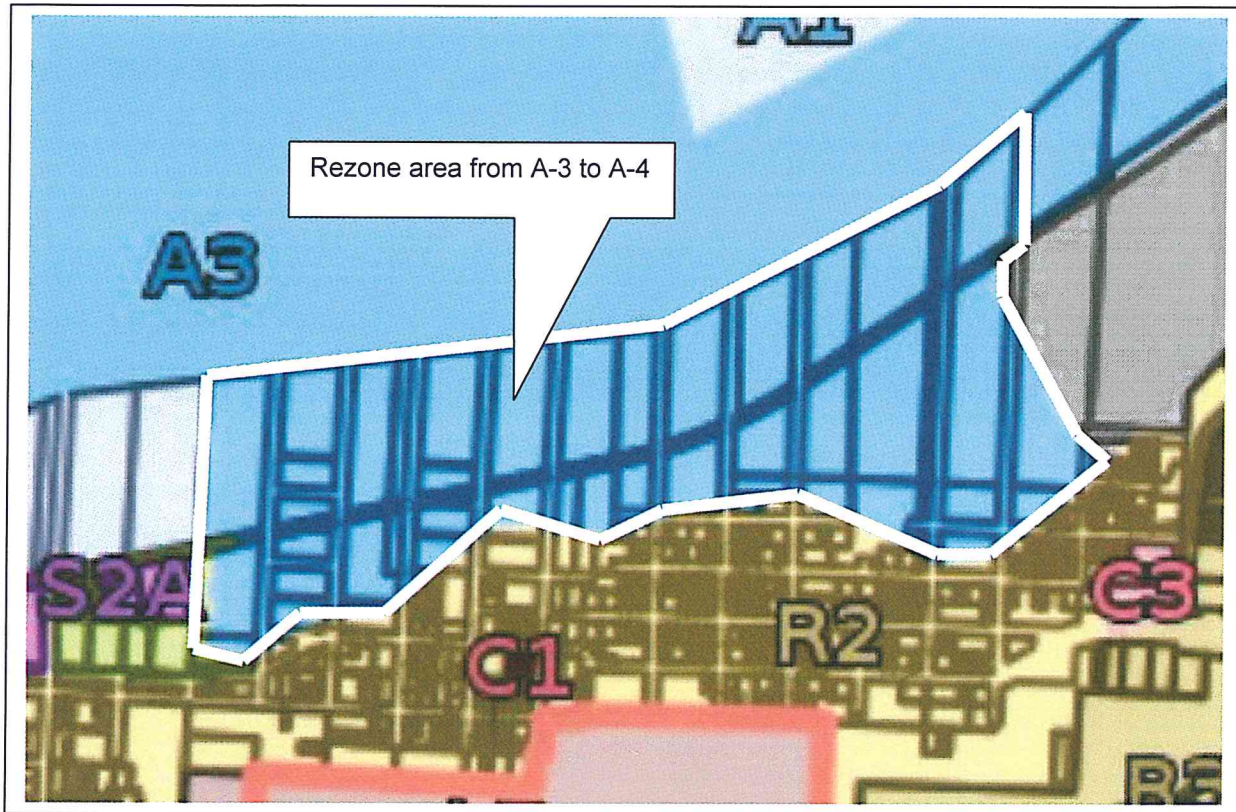
## NEIGHBORHOOD GREENWAY OVERLAY ZONE





Ordinance 14-\_\_\_\_ - Attachment B

A-3 (Aquatic Conservation) to A-4 (Aquatic Natural) Zone





ORDINANCE NO. 15-\_\_\_\_\_

AN ORDINANCE AMENDING THE ASTORIA COMPREHENSIVE PLAN PERTAINING TO IMPLEMENTATION OF THE ASTORIA RIVERFRONT VISION PLAN FOR THE NEIGHBORHOOD GREENWAY PLAN AREA

THE CITY OF ASTORIA DOES ORDAIN AS FOLLOWS:

Section 1. Astoria Comprehensive Plan Section CP.080, Alderbrook Area, is deleted in its entirety and hereby amended to read as follows:

“CP.080.     Alderbrook Area.

The Alderbrook Area generally lies between Lief Erikson Drive and the pier head line, and from ~~42nd~~ 41st to 54th Streets. It is an area of primarily older, single-family homes, with a few scattered duplexes. The area is topographically low, and some of it is in the 100-year floodplain. There are ~~two~~ four small parks ~~–, Alderbrook Hall and Park –one on at 4509~~ Lief Erikson Drive; LaPlante Park in the 4500 Block Cedar Street; Birch Street Ball Field at 49th and Birch Street; and Alderbrook Lagoon Beach at the foot of 53rd Street~~the other on Birch Street~~. The only commercial uses ~~are is the a~~ small business on Lief Erikson Drive, a motel at 54th and Lief Erikson Drive, and a construction business at 49th and Ash Streets. A commercial fishing facility was located on the waterfront between 49th and 50th Streets; however this facility is currently being converted into an art studio/retreat. The Area also overlaps with the Astoria Riverfront Vision Plan “Neighborhood Greenway” area which extends along the Riverfront from 41st Street to the east side of the Alderbrook neighborhood at approximately 54th Street and between Lief Erikson Drive and the pier head line of the Columbia River as depicted on the City’s Zoning Map.

Alderbrook Area is the only older neighborhood directly on the waterfront, and this is discussed in the shorelands/estuary section. The area has historically been zoned Medium Density Residential (R-2). The adjacent Blue Ridge and Emerald Heights areas are zoned High Density Residential (R-3), and are primarily multi-family housing areas. The majority of structures in the Blue Ridge area were demolished prior to 2007 and the land is mostly vacant pending redevelopment. The adjacent motel is zoned General Commercial (C-3). The City limits line stops east of Blue Ridge and includes North Tongue Point industrial area and South Tongue Point, but excludes North Tongue Point Job Corps Center and the US Coast Guard station, although this area is in the City's Urban Growth Boundary.

Advantages of the Alderbrook Area are the proximity to the waterfront, the lack of through traffic (away from Lief Erikson Drive), the neighborhood hall and neighborhood character, and the availability of lower cost housing. However, the limited access into the Alderbrook Area from Lief Erikson Drive creates concerns with increased traffic to the area with no secondary vehicular outlets. Disadvantages include the flooding potential, the traffic along Lief Erikson Drive (a problem when crossing to the playground), and the distance to school.”

Section 2. Astoria Comprehensive Plan Section CP.085.3, Alderbrook Area Policies, is deleted in its entirety and hereby amended to read as follows:



"3. Light ~~industrial~~water-dependent / water-related development consistent with the ~~conservation-natural~~ estuary designation (such as commercial fishing operation) may be allowed so long as it does not conflict with the residential area and is consistent with the City's Riverfront Vision Plan."

Section 3. Astoria Comprehensive Plan Section CP.085.6, Alderbrook Area Policies, is deleted in its entirety and hereby amended to read as follows:

"6. The property west of the sewer lagoons is ~~presently~~ designated as a ~~potential~~ park site and is the current (2015) east terminus of the River Trail; it is zoned Institutional (IN) Medium-Density Residential (R-2). However, the site's use as a regional park raises problems of traffic generation on residential streets. The local community must be involved in any future decision regarding this area."

Section 4. Astoria Comprehensive Plan Section CP.085.8, Alderbrook Area Policies, is hereby amended by the addition to read as follows:

"8. Extension of the trolley service to the Alderbrook neighborhood should be investigated and considered.

Section 5. Effective Date. This ordinance and its amendment will be effective 30 days refollowing its adoption and enactment by the City Council.

ADOPTED BY THE COMMON COUNCIL THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2015.

APPROVED BY THE MAYOR THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2015.

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Brett Estes, City Manager

ROLL CALL ON ADOPTION:                      YEA                      NAY                      ABSENT

Commissioner      Nemlowill  
                                 Herzig  
                                 Price  
                                 Warr

Mayor LaMear

# **Public Comment Summary Town Hall, August 20, 2015**

## **Astoria Riverfront Vision Code Assistance Phase 3: Neighborhood Greenway Area**

### **Introduction/Overview**

This report provides a summary of public comments received related to the Town Hall meeting held on Thursday, August 20, 2015, at the beginning of Phase 3 for the Neighborhood Greenway area. The report categorizes the comments according to topic areas and, in some cases, summarizes responses to the comments.

Public comments came from the following sources:

- Verbal comments made by participants during the meeting
- Comment sheets that were provided at the meeting and then were completed and returned by participants
- Emails sent to City staff following the meeting

Notes of the verbal comments, completed comment sheets, and emails sent to the City are included with this summary as Attachment A.

### **Comment Summary**

#### **Wayfinding, Signs, and Maps**

- Provide signs for guiding people through neighborhood and to the River Trail. (*City staff response: The City is pursuing grants for wayfinding signs.*)
- Provide a map at the Alderbrook Park trailhead.

#### **River Trail**

- Keep trails on public land.
- Who owns the trail/trestle? Are there plans to modify the trestle to allow for bigger boats? (*City staff response: As a Rails to Trails project, the City is interim owner, not permanent owner. There are no plans to modify the trestle.*)
- The new paved trail is appreciated.

#### **Landscaping**

- Private property should not be further restricted in the area, particularly additional landscaping regulations. Issues like landscaping should be worked out and reflect common respect between neighbors.
- Can trees be removed in the Neighborhood Greenway area? There are particular concerns about dead trees near 45<sup>th</sup>/46<sup>th</sup> and Cedar. (*City staff response: Contact the City about regulations and procedures related to tree removal.*)



## Development Restrictions

- Alderbrook is valued as it is, and either no change in regulations or no more restrictive regulations are wanted to preserve it.
- Can overwater/in-water uses be restricted in the area, e.g., dredging, private docks, covered marinas? *(City staff response: Uses could be further regulated by rezoning to another more restrictive City zone (e.g., A-4 zone) or by adding regulations related to uses that are specific to the Neighborhood Greenway area.)*
- Could the existing IN zoning in the area (Alderbrook Park) be changed to a more restrictive conservation zone?
- Are concentrations of uses regulated? *(City staff response: To an extent, existing development regulations limit the density of a use or uses on a site and conditional use criteria require a proposed use to demonstrate how it is compatible with surrounding uses including the cumulative impact of development.)*
- Is development permitted and, if so, can this development be limited on private overwater parcels? *(City staff response: Very few uses are permitted in the overwater (A-3) zone in this area, and these are primarily river-oriented or water-dependent uses. The few parcels with private rights of first refusal are mapped (shown on a poster on display at the meeting). Limits such as restricting height of this development to top-of-bank can be considered.)*
- Is height restricted in the neighborhood? *(City staff response: Buildings may generally be a maximum of 28 feet in the R-2 zone under current regulations. Other height restrictions can be considered as part of this project.)*
- There are concerns about large pole barns and garages. *(City staff response: Restrictions can be considered for these accessory structures.)*
- Would new development regulations be retroactive? *(City staff response: New regulations would not generally be retroactive. However, they would apply to redevelopment or rebuilding on a property, except as otherwise specified.)*

## Park Facilities

- It is preferred that Alderbrook Park remain as a natural, passive recreation space. *(City staff response: This can also be addressed through the upcoming Parks Master Plan process.)*
- Can restrooms be provided near LaPlante Park? If so, regulate hours of use. Consider water-less facilities like those at Fort Clatsop. Also do not use port-a-potties with doors that slam shut.
- There are concerns that providing restrooms at parks in the neighborhood will draw even more people, traffic, and noise. However, there are also concerns with inappropriate use of grounds in lieu of use of restrooms.
- There are concerns about park security. Limit hours of operation of/access to parks. *(City staff response: Park hours are currently 6:00 a.m. to dusk. Other park regulations can be considered during the upcoming Parks Master Plan process.)*
- Restrict noise in the parks (e.g., motorized bikes, drones and model aircraft). *(City staff response: There are existing municipal code provisions that can be enforced to help address this.)*
- Do not use the name “Stinky Beach.”

## Other Issues

- Identify City property on future maps.
- Are there (deed) restrictions on land owned by/leased to the City in the Neighborhood Greenway area? Does the City have plans to develop the land? *(City staff response: There are currently no plans to develop City land. If proposals arise in the future, those proposals would need to go through a public review process.)*
- What are the historical connections to the river in the area? *(City staff and participant response: There was fishing industry (e.g., fish net repair loft) and a lumber mill in Alderbrook.)*

## Issues Outside Project Area and Scope

- There are concerns about stream area east of the lagoon being developed, especially given concerns about protecting salmon and steep hillsides (the possibility for landslides) in the area. *(City staff response: This area (Blue Ridge) is outside the project area. However, any development permitted under current zoning in the area*

would need to provide geotechnical and other environmental reporting to demonstrate that building could occur safely and could mitigate impacts.)

- Regulate jet skis in Alderbrook Lagoon (*Participant response: Natural conditions, including lagoon water levels, should limit the use of motorized water craft.*)
- There are concerns about people camping in Alderbrook, trash, and not feeling safe. (*City staff response: Regulations are now stricter about clearing camps. Homelessness and camping are complex issues faced by cities nationwide. The City has formed a task force to address homelessness in Astoria.*)
- There are concerns about tent caterpillars along the River Trail. (*City staff response: These concerns are being forwarded to the Parks Director and to the Columbia River Estuary Study Task Force.*)
- Do not allow Fire Department use Alderbrook Park for fire practice/training.
- There are concerns about the dry dunes vegetation and fire hazard.

### ***Transportation and Traffic***

- Extend trolley to LaPlante Park.
- There are concerns about additional traffic through the area, including vehicle traffic and pedestrian traffic if trails provide access to Tongue Point. There is high-speed, loud traffic in particular near the end of 54<sup>th</sup> Street, late at night.
- Control types and sizes of vehicles (larger vehicles such as tour buses) in neighborhood.
- Can speed limit signs be installed in the neighborhood? (*City staff response: The City typically does not post signs on local streets where it should be understood that the speed limit is 25 mph. Posting signs can be considered.*)
- The intersection at Crest Motel feels unsafe, arrows directing turns are faded. More clearly divide traffic in the driveway. (*City staff response: Refer to Transportation System Plan (TSP) in hard copy here at the meeting or on the City's website to see whether improvements for that intersection are planned. Engineering Department staff will look into it further.*)
- Can a light be installed at 45<sup>th</sup> Street? (*City staff response: Check the TSP for a project at that location. It is a State highway under the jurisdiction of ODOT.*)
- Will the Bypass be built? (*City staff response: The Bypass is recommended in long-range plans but is expensive, will require a lot of process and permitting, and is currently not expected to be funded and built in the next 20 years. However, an alternative route through the Clatsop Forest is being investigated for emergency use.*)



## **Attachment A:**

### **Public Comment Forms And Emails**



CITY OF ASTORIA  
Founded 1811 • Incorporated 1856

# Riverfront Vision Plan Implementation Neighborhood Greenway Area Town Hall Meeting 8/20/15

## Comment Form

Your comments will be considered in updating the City's development code to implement the Riverfront Vision Plan for properties in the Neighborhood Greenway area.

We really need a park<sup>w/ restrooms</sup> or just restroom facility @ La Plante  
in the alderbrook neighborhood. Or at least  
on the East end of the Riverwalk.  
Don't have to have water —  
Like the ones at Ft Clatsop would  
be adequate. But  
Please, no Porta Pottys.

Optional - Name & email: Jennifer Parsons

Address: 365 53rd ST

**Thank you for your comments!** Please leave this completed comment form with one of the project team members before you leave the meeting, or return it to:

City of Astoria, Community Development Department, 1095 Duane Street, Astoria OR 97103;  
or email comments to [rjohnson@astoria.or.us](mailto:rjohnson@astoria.or.us).





CITY OF ASTORIA  
Founded 1811 • Incorporated 1856

# Riverfront Vision Plan Implementation Neighborhood Greenway Area Town Hall Meeting 8/20/15

## Comment Form

Your comments will be considered in updating the City's development code to implement the Riverfront Vision Plan for properties in the Neighborhood Greenway area.

Not blocking housing views  
Putting bathrooms at LaPlante Park  
that are auto-locked from 8pm-8am

Extending the Trolley down to  
LaPlante Park so Alderbrook  
residents can make use of Trolley

No private residential Docks  
No covered marinas which would  
block any homeowners view  
change A3 zone to A4 zone

Optional - Name & email: \_\_\_\_\_

Address: \_\_\_\_\_

**Thank you for your comments!** Please leave this completed comment form with one of the project team members before you leave the meeting, or return it to:

City of Astoria, Community Development Department, 1095 Duane Street, Astoria OR 97103;  
or email comments to [rjohnson@astoria.or.us](mailto:rjohnson@astoria.or.us).

To Shayna 8/20/15



CITY OF ASTORIA  
Founded 1811 • Incorporated 1856

# Riverfront Vision Plan Implementation Neighborhood Greenway Area Town Hall Meeting 8/20/15

## Comment Form

Your comments will be considered in updating the City's development code to implement the Riverfront Vision Plan for properties in the Neighborhood Greenway area.

Leave Alderbrook alone thank you  
Limitations on private property development.  
I had a view of the River for 23yrs  
til my new neighbor in front of me corner  
47th & Birch built a huge Shop. The City  
allowed this without neighbors permission.  
Keeping the land as natural as possible  
guarding the wildlife, birds fish etc

Optional - Name & email: Cheryl Krwi-chick 49@yahoo.com

Address: \_\_\_\_\_

**Thank you for your comments!** Please leave this completed comment form with one of the project team members before you leave the meeting, or return it to:

City of Astoria, Community Development Department, 1095 Duane Street, Astoria OR 97103;  
or email comments to [rjohnson@astoria.or.us](mailto:rjohnson@astoria.or.us).



RFU

**Sherri Williams**

---

**From:** Rosemary Johnson  
**Sent:** Thursday, August 20, 2015 5:10 PM  
**To:** dhweber@gmail.com  
**Cc:** Sherri Williams  
**Subject:** Re: Neighborhood Greenway comments

Will add you to our mailing list and touch base with you later. Thanks

Sent from my iPhone

On Aug 19, 2015, at 10:06 PM, David Weber <[dhweber@gmail.com](mailto:dhweber@gmail.com)> wrote:

Hi, Rosemary.

This is David Weber at 4623 Ash St. in Alderbrook. I just read the notice on the city website about accepting comments on the Neighborhood Greenway project tomorrow night. Unfortunately, I'm traveling this week and won't be able to attend.

I'm very interested in anything that affects the greenway and have approached the city engineering folks about allowing an extension of the walking path from Violet Laplante park through the greenway and through the back of my property to Birch St. If I can help in any way, please let me know.

Thanks,  
David

[dhweber@gmail.com](mailto:dhweber@gmail.com)  
+1.512.377.9090

8/21/15 Emailed to Shayna, RD & KC

**Sherri Williams**

---

**From:** Elizabeth Ketcham <kitketcham@me.com>  
**Sent:** Friday, August 21, 2015 12:20 PM  
**To:** Sherri Williams  
**Subject:** alderbrook comments

I am concerned that additional comments pertaining to last night's Alderbrook town hall are to be sent to Rosemary Johnson at this address. However, one gets an immediate message saying that Rosemary is retired and we should contact somebody else.

The handout that we received last night is in error, because it specifically directs additional comments to Ms. Johnson. It seems that this could have been corrected before the erroneous information was put in writing on the handout.

But having found your email address, I will submit this comment: the tent caterpillars are starting to infest the trees along the Riverwalk path. They can defoliate trees quickly if they get a foothold in an area.

Having moved here from Whidbey Island in WA, I am painfully aware of the damage tent caterpillars can do and I urge the city to take protective and preventative measures to limit the damage.

Sincerely,  
Elizabeth Ketcham  
5360 Alder St.



To Shayna 8/24/15

**Sherri Williams**

---

**From:** Rosemary Johnson  
**Sent:** Friday, August 21, 2015 1:21 PM  
**To:** Kit Ketcham  
**Cc:** Kevin Cronin; Sherri Williams; Angela Cosby; rcrater@columbiaestuary.org  
**Subject:** RE: tent caterpillars along the Riverwalk

Thanks for your comments. I am forwarding your question on the caterpillars to our Parks Director to see if she has dealt with this yet. Since it is also along the estuary, I'm forwarding it to CREST to see if they have any input on what to do. We will add your email to the comments from last night. Hope to see you at future work sessions on this issue. Rosemary

Rosemary Johnson, Special Projects Planner  
City of Astoria  
1095 Duane Street  
Astoria OR 97103  
503-338-5183  
[rjohnson@astoria.or.us](mailto:rjohnson@astoria.or.us)  
[www.astoria.or.us](http://www.astoria.or.us)

**From:** Kit Ketcham [<mailto:lilyloosy4@gmail.com>]  
**Sent:** Friday, August 21, 2015 10:47 AM  
**To:** Rosemary Johnson  
**Subject:** tent caterpillars along the Riverwalk

Dear Rosemary (the Wonder Woman of Astoria's Special Projects!),

One compliment and one thing I forgot to bring up at last night's meeting:

You definitely are a wonder! You did a great job last night helping us sort through the many issues potentially affecting Astoria's beloved Alderbrook neighborhood. Thanks for your encyclopedic knowledge of the background and legal matters/ordinances that are part of the situation. You were skilled at repeating people's comments accurately---really important! The meeting was informative and helpful for this fairly new Alderbrook resident.

What I would like to add to the commentary is a question: is there a plan for taking steps to control the tent caterpillars that have begun to infest the alders along the path? I moved to the North Coast from Whidbey Island, which had a huge problem with tent caterpillars several times while I was there. I'm not sure of the best method for dealing with them; they're mostly ugly, I think, but can damage trees irreparably under some circumstances.

Anyhow, just wanted to throw in another two cents worth and offer kudos on how you handled the meeting last night. Thanks.

Kit Ketcham (who now lives at 5360 Alder St., just steps from the Riverwalk entrance.)

--

Kit Ketcham  
Minister Emerita, Unitarian Universalist Congregation of Whidbey Island

**R-2: MEDIUM DENSITY RESIDENTIAL ZONE**

2.060. **PURPOSE.**

The purpose of the R-2 Zone is to provide an area for medium density residential development, at a maximum density of 16 units per net acre including single-family dwellings and duplexes as outright uses and multi-family dwellings as a conditional use. The policies of the Comprehensive Plan, applicable overlay zone standards, and the standards listed below, will be adhered to.

2.065. **USES PERMITTED OUTRIGHT.**

The following uses and their accessory uses are permitted in the R-2 Zone if the Community Development Director determines that the uses will not violate standards referred to in Sections 2.075 through 2.095, additional Development Code provisions, Comprehensive Plan policies, and other City laws:

1. Single-family dwelling.
2. Two-family dwelling.
3. Accessory dwelling unit.

*(Section 2.065.3 amended by Ordinance 04-10, 11-1-04)*

4. Family day care center.
5. Home occupation, which satisfies requirements in Section 3.095.
6. Home stay lodging.
7. Manufactured dwelling in approved park.
8. Manufactured home. See Section 3.140.
9. Residential home.
10. Transportation facilities.  
*(Section 2.065.10 added by Ordinance 14-03, 4-21-14)*



2.070. CONDITIONAL USES PERMITTED.

The following uses and their accessory uses are permitted in the R-2 Zone if the Planning Commission, after a public hearing, determines the location and development plans comply with applicable standards referred in Sections 2.075 through 2.095, additional Development Code provisions, Comprehensive Plan policies, and other City laws:

1. Bed and breakfast, or inn.
2. Boarding or rooming house, or other group housing, not mentioned above.
3. Congregate care facility.
4. Day care center.
5. Manufactured dwelling park.
6. Multi-family dwelling.
7. Nursing home.
8. Public or semi-public use.
9. Residential facility.
10. Restaurant as an accessory use to an Inn. See Section 3.230.
11. Temporary use meeting the requirements of Section 3.230.
12. Cluster development meeting the requirements of Section 11.160.

*(Section 2.070.12 added by Ordinance 95-05)*

2.075. LOT SIZE.

Uses in an R-2 Zone which are part of a cluster development will comply with lot size requirements in Section 11.160. Other uses in an R-2 Zone will not violate the following requirements affecting lot size which are applicable to the particular use:

1. The minimum lot size for a single-family dwelling will be 5,000 square feet. Manufactured dwellings in an approved park may meet the requirements set forth in Section 11.120.
2. The minimum lot size for a two-family dwelling will be 7,500 square feet.

City of Astoria  
Development Code

R-2 Zone

3. The minimum lot size for a multi-family dwelling will be 5,000 square feet for the first unit plus 2,500 square feet for each dwelling unit in excess of one.
4. The minimum lot width will be 45 feet.
5. The minimum lot depth will be 90 feet.

2.080. YARDS.

Uses in the R-2 Zone which are part of a cluster development will comply with the yard requirements in Section 11.160. Other uses in the R-2 Zone will comply with the following requirements:

- A. The minimum yard requirements in an R-2 Zone will be as follows:
  1. The minimum front yard will be 20 feet.
  2. The minimum side yard will be five (5) feet, except on corner lots the side yard on the street side will be 15 feet.
  3. The minimum rear yard will be 15 feet, except on corner lots the rear yard will be five (5) feet.
- B. For minimum yard requirements in a manufactured dwelling park, refer to 11.120.

*(Section 2.080 amended by Ordinance 95-05)*

2.085. LOT COVERAGE.

Buildings will not cover more than 40 percent of the lot area.

2.090. HEIGHT OF STRUCTURES.

No structure will exceed a height of 28 feet above grade.

2.095. OTHER APPLICABLE USE STANDARDS.

1. All uses will comply with applicable access, parking, and loading standards in Article 7.
2. Conditional uses will meet the requirements in Article 11.
3. Signs will comply with requirements in Article 8.

Article 2 – Page 7

*(Adopted 10-8-92)*



4. All structures will have storm drainage facilities that are channeled into the public storm drainage system or a natural drainage system approved by the City Engineer. Developments affecting natural drainage shall be approved by the City Engineer.
5. Where new development is within 100 feet of a known landslide hazard, a site investigation report will be prepared by a registered geologist. Recommendations contained in the site report will be incorporated into the building plans.
6. All uses except those associated with single-family and two-family dwellings shall meet the landscaping requirements in Sections 3.105 through 3.120.
7. Density of congregate care facilities, which are designed for assisted living for the elderly or handicapped, shall conform to the density of multi-family developments in the zone in which such development is located.
8. Outdoor lighting in residential areas shall be designed and placed so as not to cast glare into adjacent residential properties. The Community Development Director may require the shielding or removal of such lighting where it is determined that existing lighting is adversely affecting adjacent residences.
9. Group Housing.
  - a. Density.

Group housing resident density is limited to two (2) residents per 1,000 square feet of total gross floor area. Residents include all people living at the site, including those who provide support services, building maintenance, care, supervision, etc. People who only work at the site under a valid Home Occupation Permit (see Section 3.095) are not considered residents. Maximum number of residents per site is limited to 15. Usable outdoor area shall be provided at a ratio of 50 square feet per resident.
  - b. Parking.

Where the Community Development Director determines that a group housing facility may require parking in excess of that provided for staff persons, a parking area of sufficient size to provide for anticipated needs shall be provided.

**A-3: AQUATIC CONSERVATION ZONE**

2.575. PURPOSE AND AREAS INCLUDED.

The purpose of the Aquatic Conservation Zone (A-3) is to assure the conservation of: fish and wildlife habitats; essential properties of the estuarine resource (e.g., dynamic geological processes, continued biological productivity, unique or endemic communities of organisms, maintenance of species diversity); and the long-term use and conservation of renewable estuarine resources. This designation provides for development of low to moderate intensity that does not require major alterations of the estuary, with emphasis on maintaining estuarine natural resources and benefits. The Aquatic Conservation Zone includes small areas of tidal marsh and intertidal mud-sand flats, small fringing tidal marshes, and open water portions of the estuary and areas needed for recreational use. Partially altered estuarine areas adjacent to existing development of moderate intensity are also included in this designation, unless otherwise needed for preservation or development consistent with the need to minimize damage to the estuarine ecosystem.

Low to moderate intensity development is appropriate in Aquatic Conservation area designation (e.g., active restoration measure, communication facilities, and aquaculture). When consistent with the resource capabilities of the area and the purposes of the Aquatic Conservation Zone designation, conditional uses providing for development of moderate intensity are appropriate.

2.580. PERMITTED USES.

The following uses and activities and their accessory uses and activities are permitted in the Aquatic Conservation Zone subject to the appropriate provisions of Section 2.590, Development Standards and Procedural Requirements:

1. Estuarine enhancement.
2. Riprap for protection of use existing as of October 7, 1977, unique natural resources, historical or archeological resources, or public facility.
3. Maintenance and repair of existing structure or facility.
4. Active restoration of fish habitat, wildlife habitat, or water quality.
5. Filling in conjunction with any of the permitted uses 1 through 4, above, pursuant to the applicable standards in Section 4.070.
6. Tidegate installation and maintenance in existing functional dike.



7. Dredging to obtain fill material for dike maintenance pursuant to the dike maintenance dredging standards.
8. Pipeline, cable, and utility crossing.
9. Water-dependent parts of an aquaculture facility which do not involve dredge or fill or other estuarine alterations other than incidental dredging for harvest of benthic species or removable in-water structures such as stakes or racks.
10. Dredging in conjunction with any of the permitted uses 1 through 9, above, pursuant to the applicable standards in Section 4.050.
11. Navigation aid.
12. Communication facility.
13. Bridge crossing support structure.
14. Boat ramp for public use where no dredge or fill is needed for navigational access.
15. Undeveloped low intensity water-dependent recreation.
16. Project for the protection of habitat, nutrient, fish, wildlife and aesthetic resources.
17. Research and educational observation.
18. Piling and pile supported structure in conjunction with any of the permitted uses 1 through 17 above.
19. Passive restoration.
20. Bridge crossing.
21. Transportation facilities, excluding electric car charging stations.  
(Section 2.580.21 added by Ordinance 14-03, 4-21-14)

2.585. CONDITIONAL USES.

The following uses and activities and their accessory uses and activities may be allowed in the Aquatic Conservation Zone as Conditional Uses when authorized in accordance with Article 11, Conditional Uses. These uses and activities are also subject to the appropriate provisions of Section 2.590, Development Standards and Procedural Requirements. It must also be determined if these uses and activities meet the resource capability of the

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A-3 Zone

Aquatic Conservation area in which they occur, and if they are consistent with the Aquatic Conservation Zone's purpose. The procedures in Section 5.020, Resource Capability Determination, will be used to make this determination.

1. Aquaculture and water-dependent portions of aquaculture facility.
2. Active restoration for purposes other than protection of habitat, nutrient, fish, wildlife and aesthetic resources.
3. Temporary alteration.
4. Beach nourishment at sites designated in the Comprehensive Plan.
5. Filling in conjunction with conditional uses 1 through 4, above, pursuant to the applicable standards in Section 4.070.
6. High-intensity water-dependent recreation including boat ramp, marina, and individual dock.
7. Minor navigational improvement.
8. Mining and mineral extraction.
9. Dredging in conjunction with any of the conditional uses 1 through 8, above, pursuant to the applicable standards in Section 4.050.
10. Low-intensity water-dependent commercial or industrial use requiring occupation of water-surface area by means other than fill.
11. In-water log storage.
12. Piling in conjunction with any of the conditional uses 1 through 11, above.
13. Temporary use meeting the requirements of Section 3.240.
14. In pile supported buildings existing prior to October 1, 2002, non water-dependent or non water-related uses as follows:
  - a. Arts and crafts studios.
  - b. Bed and breakfast, home stay lodging, or inn.
  - c. Home occupation.
  - d. Professional and business office, personal service establishment limited to beauty and barber services and garment alterations.
  - e. Residential home.
  - f. Single-family dwelling.
  - g. Two-family dwelling.
  - h. Multi-family dwelling.



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- i. Off-street parking requirements for the above uses may be located in the upland zone adjacent to the use. The Planning Commission may impose additional landscape buffering to protect the adjacent residential uses.

*(Section 2.585(14) added by Ordinance 02-16, 12-2-02)*

2.590. DEVELOPMENT STANDARDS AND PROCEDURAL REQUIREMENTS.

1. All uses shall satisfy applicable Columbia River Estuary Shoreland and Aquatic Area and Activity Standards in Article 4. Where a proposal involves several uses, the standards applicable to each use shall be satisfied (e.g., dredge, fill, shoreline stabilization, piling installation or other activities in conjunction with an aquaculture facility shall be subject to the respective standards for these uses).
2. When a proposal includes several uses, the uses shall be reviewed in aggregate under the more stringent procedure. In addition, a proposal with several uses shall be reviewed in aggregate for consistency with the resource capability and purposes of the Aquatic Conservation Zone, Section 2.575, when a Resource Capability Determination is required.
3. Uses and activities that would potentially alter the estuarine ecosystem shall be preceded by a clear presentation of the impacts of the proposed alteration, subject to the requirements of Section 5.010, Impact Assessment.
4. No use shall be allowed in an Aquatic Conservation Zone (A-3) which would cause a major alteration of the estuary.
5. The maximum height of structures in the Aquatic Conservation Zone shall be 20 feet above the grade of adjacent shorelands.
6. Uses that are not water-dependent shall be located either on a floating structure or pilings, and shall not increase the need for fill if in association with a water-dependent use located on fill.
7. Uses that are not water-dependent shall not preclude or conflict with existing or probable future water-dependent use on the site or in the vicinity.
8. Uses in this zone which are water-dependent or water-related must meet the criteria for water-dependent uses (Section 4.220(A)), or for water-related uses (Section (4.220(B))).
9. Accessory structures in the Aquatic Conservation Zone are limited in size to a maximum of 10% of the primary structure.

**A-4: AQUATIC NATURAL ZONE**

2.600. PURPOSE AND AREAS INCLUDED.

The purpose of the Aquatic Natural Zone (A-4) is to assure the preservation and protection of: 1) significant fish and wildlife habitats, 2) essential properties of the estuarine resource (e.g., dynamic geological processes, continued biological productivity, unique or endemic communities of organisms, species diversity), and 3) research and educational opportunities. The Aquatic Natural Zone includes major tracts of tidal marshes and intertidal mud-sand flats, which because of a combination of factors such as size, habitat value and productivity, play a vital role in the function of the estuarine ecosystem. Aquatic Natural Zones may also include ecologically important subtidal areas. Low intensity uses consistent with the preservation and protection of natural resource values are appropriate in Aquatic Natural Zones.

2.605. PERMITTED USES.

The following uses and activities and their accessory uses and activities are permitted in the Aquatic Natural Zone subject to the appropriate provisions of Section 2.615, Development Standards and Procedural Requirements:

1. Low-intensity water-dependent recreation.
2. Passive restoration.
3. Navigational aide, such as beacon and buoy.
4. Vegetative shoreline stabilization.
5. Emergency repair to existing dike.
6. Marine research and education.
7. Piling installation as necessary for permitted uses 1 through 6, above.
8. Bridge crossing.



**A-4: AQUATIC NATURAL ZONE**

2.600. PURPOSE AND AREAS INCLUDED.

The purpose of the Aquatic Natural Zone (A-4) is to assure the preservation and protection of: 1) significant fish and wildlife habitats, 2) essential properties of the estuarine resource (e.g., dynamic geological processes, continued biological productivity, unique or endemic communities of organisms, species diversity), and 3) research and educational opportunities. The Aquatic Natural Zone includes major tracts of tidal marshes and intertidal mud-sand flats, which because of a combination of factors such as size, habitat value and productivity, play a vital role in the function of the estuarine ecosystem. Aquatic Natural Zones may also include ecologically important subtidal areas. Low intensity uses consistent with the preservation and protection of natural resource values are appropriate in Aquatic Natural Zones.

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1. Low-intensity water-dependent recreation.
2. Passive restoration.
3. Navigational aide, such as beacon and buoy.
4. Vegetative shoreline stabilization.
5. Emergency repair to existing dike.
6. Marine research and education.
7. Piling installation as necessary for permitted uses 1 through 6, above.
8. Bridge crossing.

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A-4 Zone

(e.g., dredge, fill, shoreline stabilization, piling installation or other activities in conjunction with an aquaculture facility shall be subject to the respective standards for these uses).

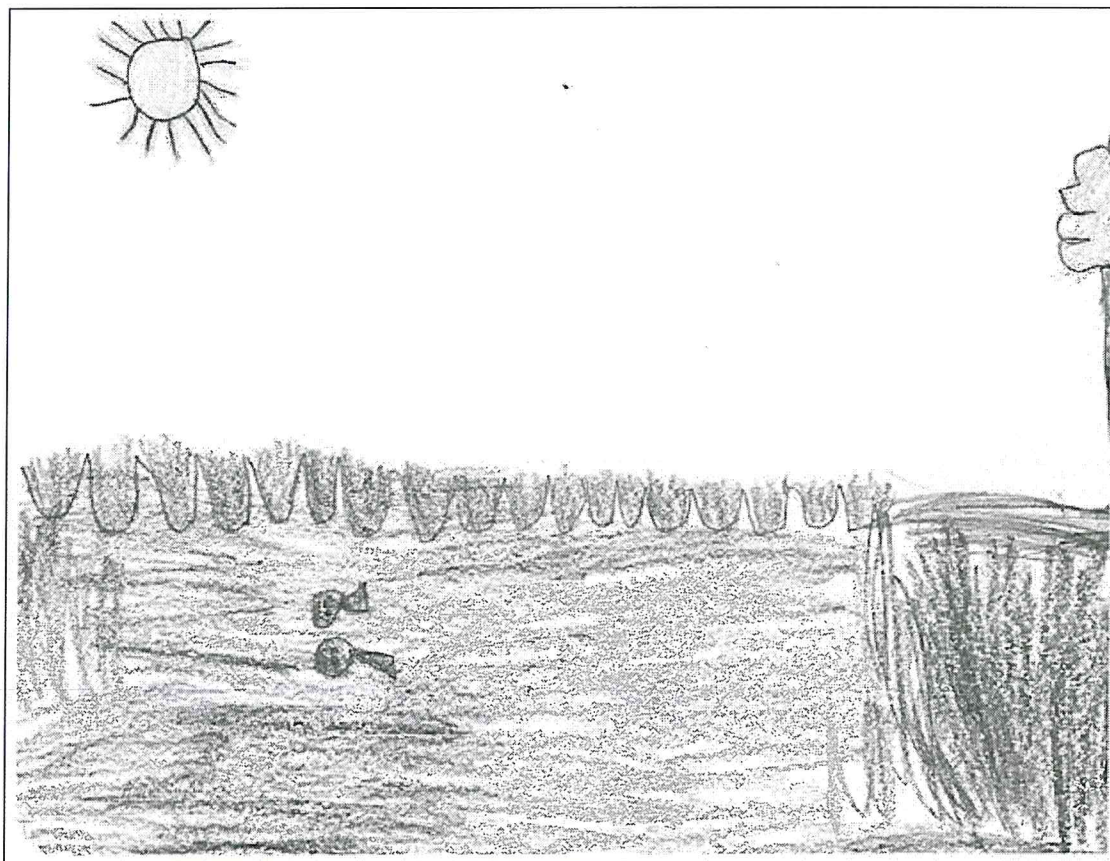
2. When a proposal includes several uses, the uses shall be reviewed in aggregate under the more stringent procedure. In addition, a proposal with several uses shall be reviewed in aggregate for consistency with the resource capability and purposes of the Aquatic Natural Zone, Section 2.600, when a Resource Capability Determination is required.
3. Uses and activities that would potentially alter the estuarine ecosystem shall be preceded by a clear presentation of the impacts of the proposed alteration, subject to the requirements of Section 5.010, Impact Assessment.
4. The maximum height of structures in the Aquatic Natural Zone shall be 20 feet above the grade of adjacent shorelands.
5. Uses that are not water-dependent shall be located either on a floating structure or pilings, and shall not increase the need for fill if in association with a water-dependent use located on fill.
6. Uses that are not water-dependent shall not preclude or conflict with existing or probable future water-dependent use on the site or in the vicinity.
7. Uses in this zone which are water-dependent or water-related must meet the criteria for water-dependent uses (Section 4.220(A)) or for water-related uses (Section 4.220(B)).
8. Accessory structures in the Aquatic Natural Zone are limited in size to a maximum of ten percent of the primary structure.



## NEIGHBORHOOD GREENWAY

The Neighborhood Greenway area extends from approximately 39th Street to the east end of Alderbrook Lagoon. This area is characterized by the visual and natural character of the Alderbrook Neighborhood. The area along the Columbia River and Alderbrook Lagoon will emphasize the natural features and beauty of the area through riverbank restoration, enhanced wildlife habitat and expansive views. Impacts of pedestrians on neighborhood residents are minimized and open views of the river are maintained. Public improvements enhance access to the river and extend the trail network to the adjacent neighborhood and Tongue Point. The character of the Alderbrook Neighborhood is generally maintained.

- ◆ Highlight the river's natural edge by framing views and creating path/trail systems that reflect the river's movement.
- ◆ Emphasize natural features and beauty along the edge of the river and lagoon.
- ◆ Use plantings and landscaping that provide riverbank restoration and increase habitat.



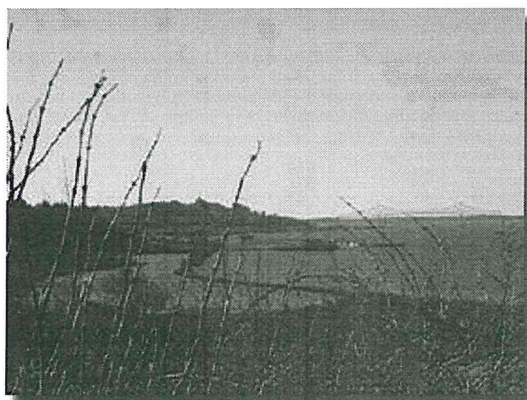
*The riverfront as envisioned by a kindergarten student from Gray Elementary School*



### Natural Features

The Neighborhood Greenway is known for its natural beauty and access to the river. The vision for this area is to highlight and enhance the natural habitat with native plantings and landscaping. An extension of the River Trail is envisioned along the Alderbrook Lagoon railroad trestle and on to Tongue Point. New formal trail connections are

proposed along the southwest edge of the lagoon from the River Trail to LaPlante Park, from 45th Street to the trestle and from 54th Street to the trestle through the natural area to the east of the lagoon.



*Use plantings and landscaping that provide riverbank restoration*



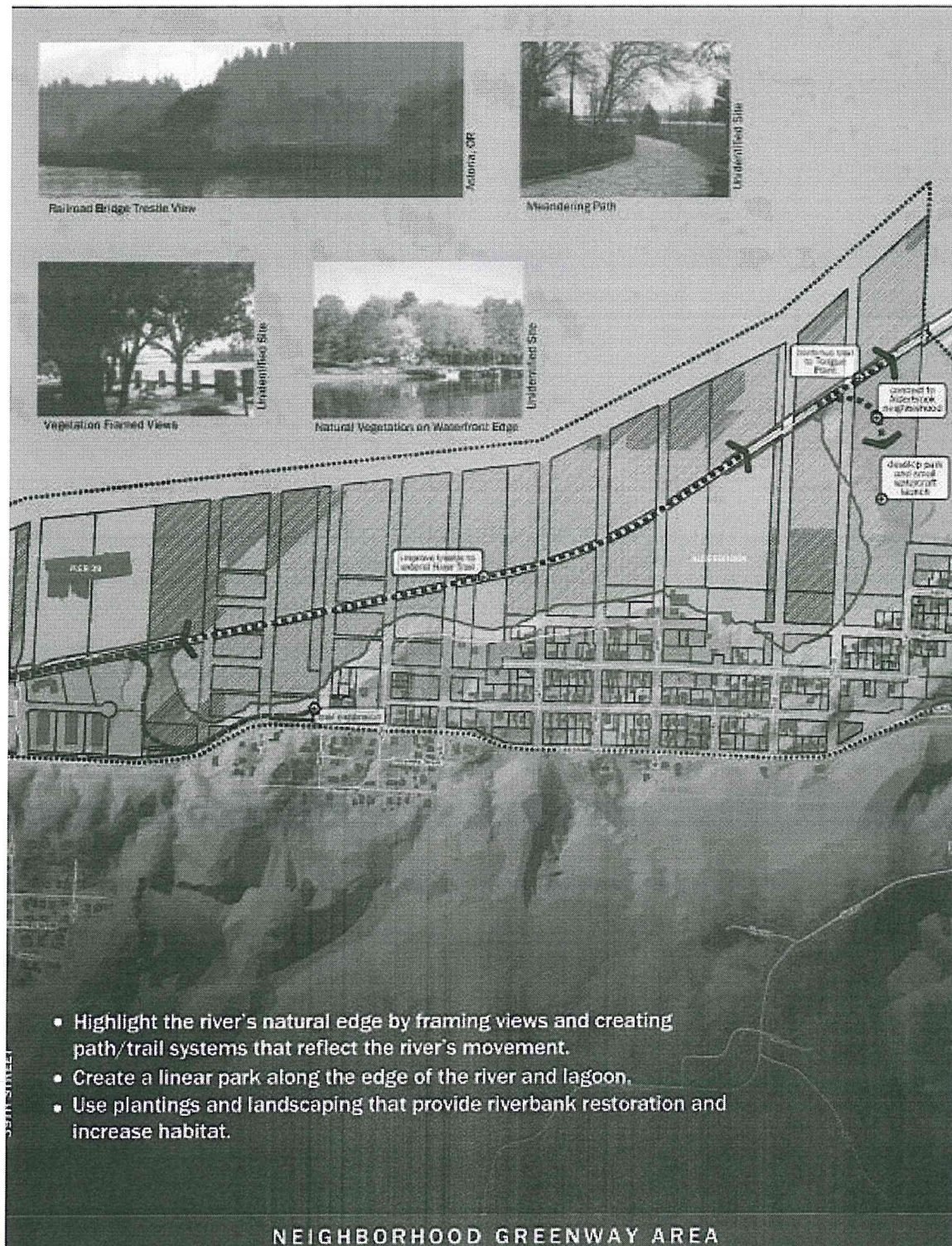
*Alderbrook Lagoon*



*Proposed River Trail Extension*



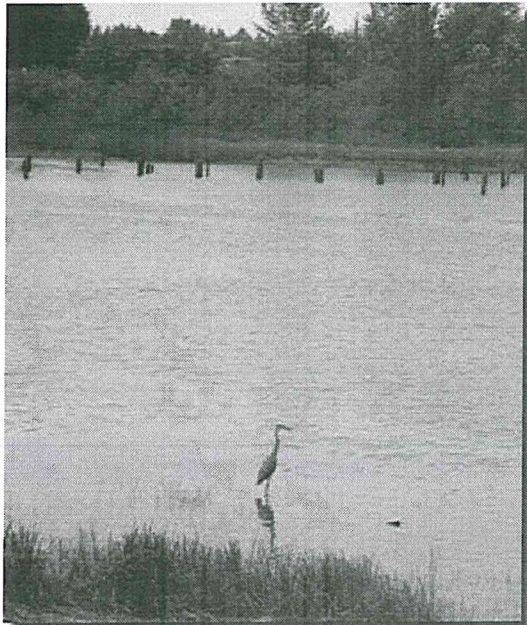
## Nighborhood Greenway Natural Features Map





### Land Use and Urban Design

It is expected that very little overwater development will occur in the Neighborhood Greenway area in the future other than small-scale improvements such as docks or piers (or improvements to the River Trail trestle) which would enhance general public access to the river. This is due in large part to the amount of public control of overwater parcels and the natural and residential character of the Alderbrook Neighborhood and Lagoon. The majority of this area is within the Alderbrook Neighborhood and would continue to be residential in nature.



*Respect and protect the character of the Alderbrook Neighborhood*

- ◆ Respect and protect the visual character of the Alderbrook Neighborhood.
- ◆ Minimize impacts of pedestrians on neighborhood residents.
- ◆ Protect river vistas to maintain physical and visual connection to the Columbia River.
- ◆ Create and maintain a sense of openness to enhance connections to the Columbia River and the Neighborhood Greenway area and improve the quality of residential areas. Open spaces should range from smaller, more intimate spaces to larger gathering places.
- ◆ Encourage maritime related uses consistent with Astoria's working riverfront such as docks, piers, marinas, and associated uses that provide jobs and maintain a historic connection to the river.

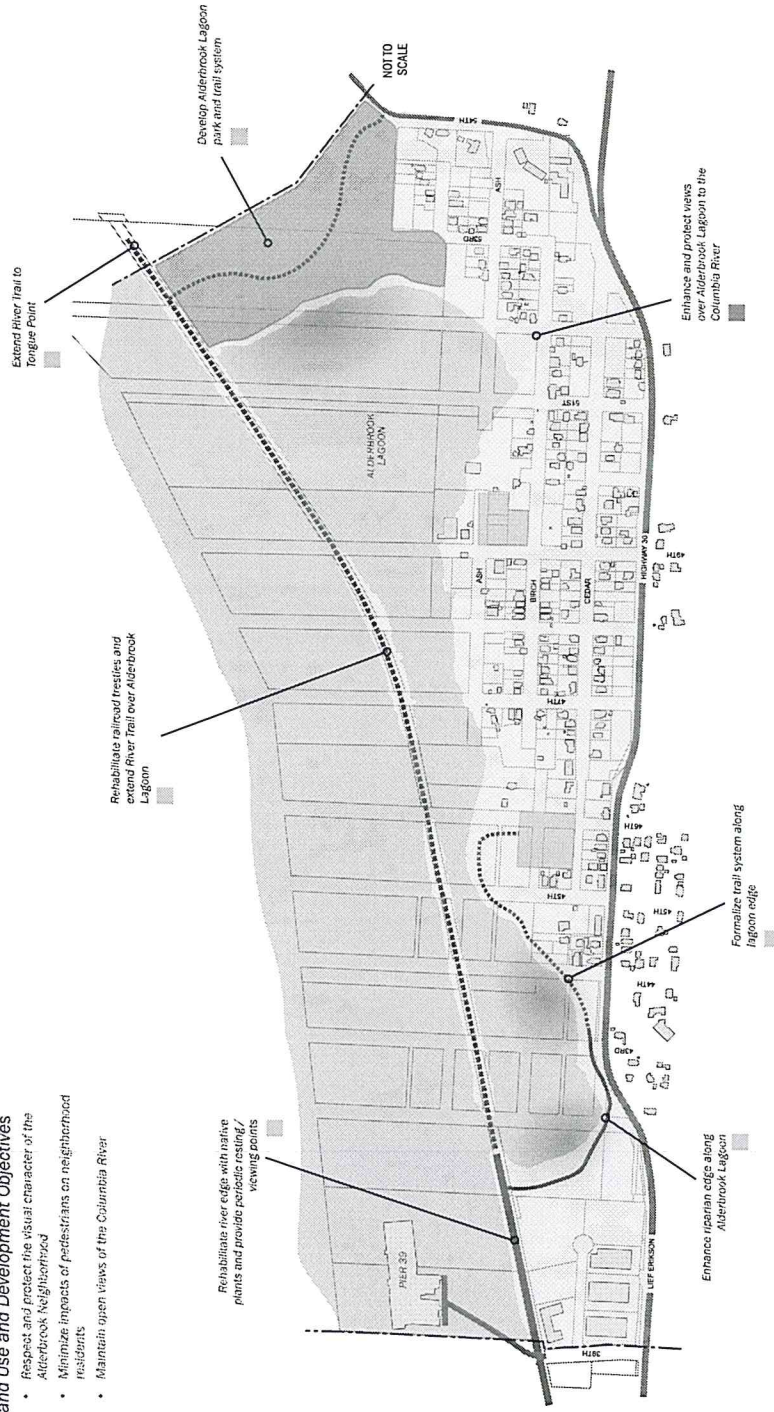


## Neighborhood Greenway Land Use Map

### NEIGHBORHOOD GREENWAY

#### Land Use and Development Objectives

- Respect and protect the visual character of the Alderbrook Neighborhood
- Minimize impacts of pedestrians on neighborhood residents
- Maintain open views of the Columbia River



ASTORIA RIVERFRONT VISION PLAN  
LAND USE AND URBAN DESIGN IDEAS  
OCTOBER 2008

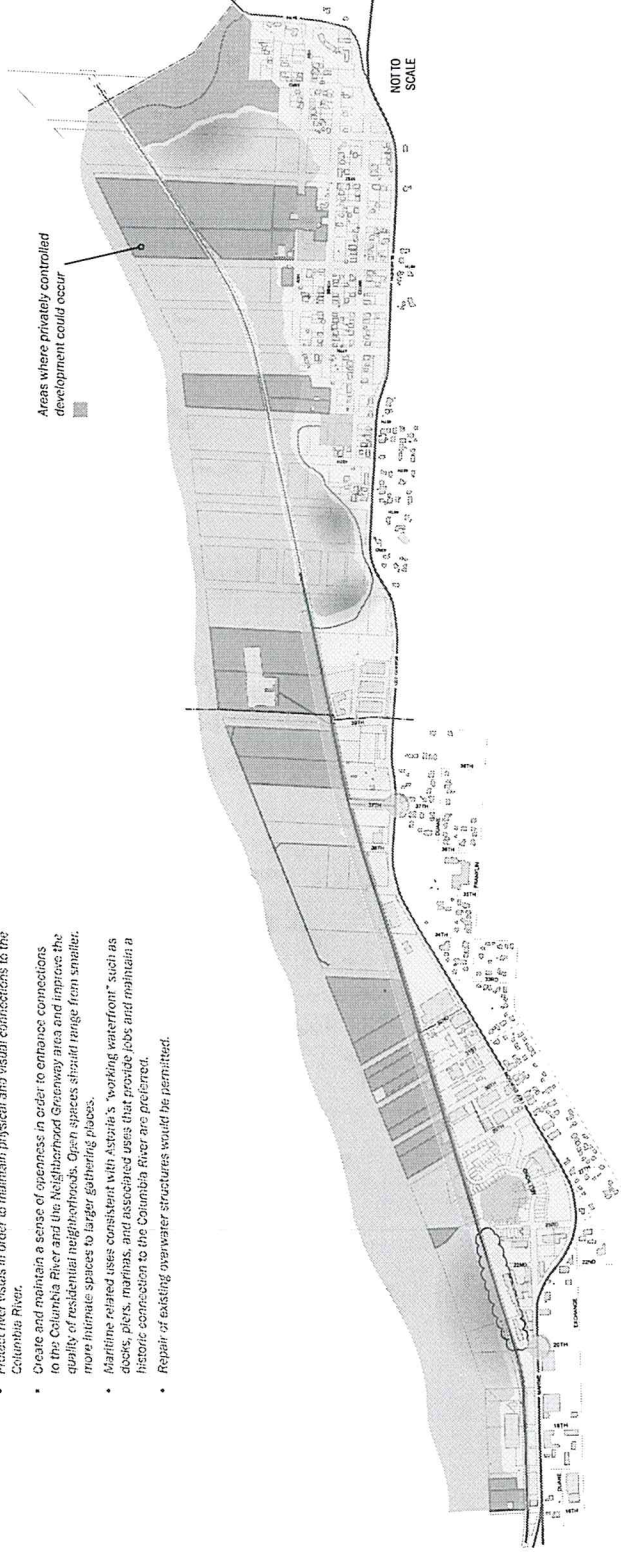
### NEIGHBORHOOD GREENWAY

## Neighborhood Greenway Private First Right of Refusals Map

### PRIVATE FIRST RIGHT OF REFUSALS

Overwater development within these areas should consider the following:

- Protect river vistas in order to maintain physical and visual connections to the Columbia River.
- Create and maintain a sense of openness in order to enhance connections to the Columbia River and the Neighborhood Greenway area and improve the quality of residential neighborhoods. Open spaces should range from smaller, more intimate spaces to larger gathering places.
- Maritime related uses consistent with Astoria's "working waterfront" such as docks, piers, marinas, and associated uses that provide jobs and maintain a historic connection to the Columbia River are preferred.
- Repair of existing overwater structures would be permitted.



ASTORIA RIVERFRONT VISION PLAN  
LAND USE AND URBAN DESIGN IDEAS  
29 MAY 2009

CIVIC GREENWAY NEIGHBORHOOD GREENWAY



## Transportation and Other Public Improvements

The following transportation and other public improvements are proposed for the Neighborhood Greenway area:

- ◆ **Provide continuous bicycle lanes and sidewalks along Lief Erikson Drive between the area east of the Safeway and Tongue Point.** This provides a safe connection for those living east of downtown Astoria, as well as for those who would like to bicycle or walk to Tongue Point.
- ◆ **Extend the River Trail to Tongue Point** using the railroad trestle at the Alderbrook Lagoon. Provide bicycle and pedestrian access to Alderbrook neighborhood through new trail connections to Ash Street, 45th Street, and 54th Street.

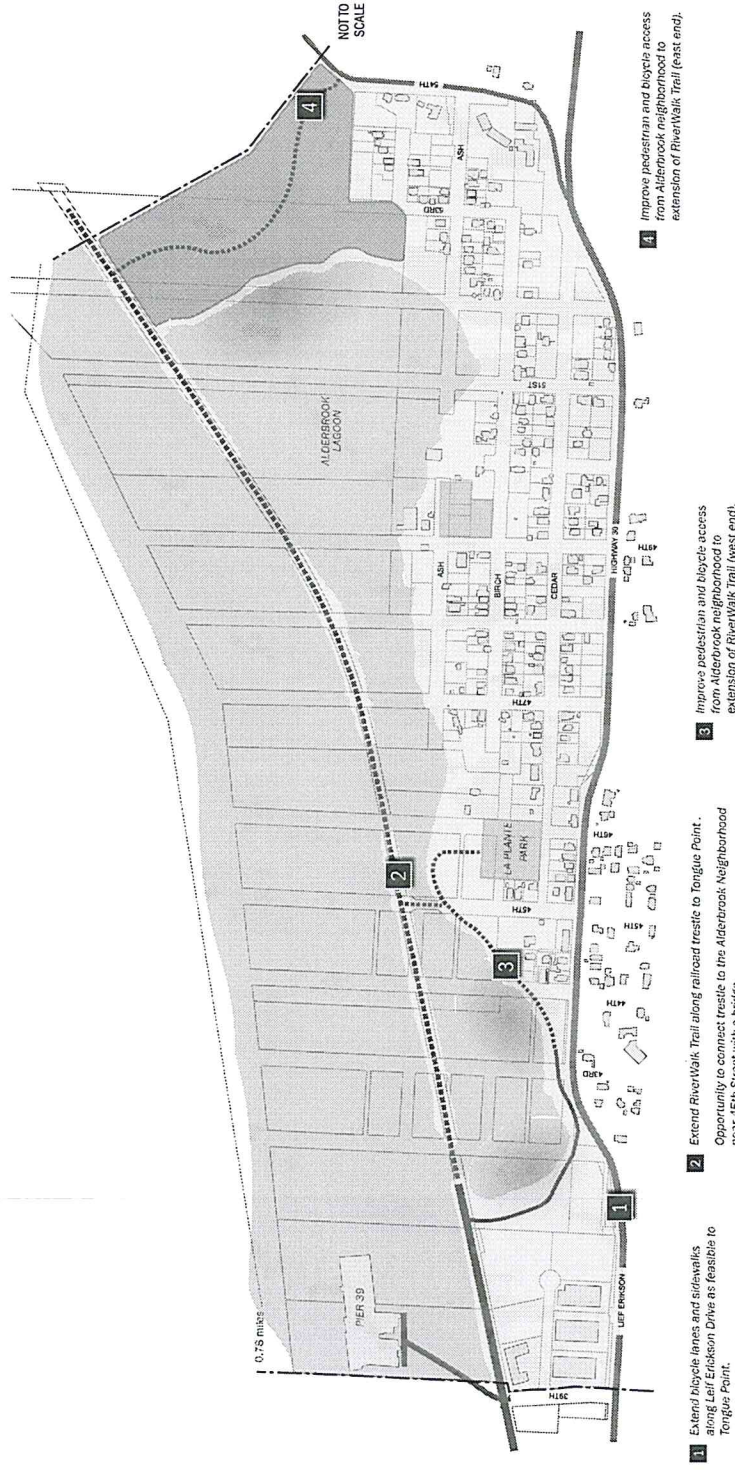


*Extend the River Trail to Tongue Point*



*Provide new trail connections*

# Neighborhood Greenway Transportation Map



- 1 Extend bicycle lanes and sidewalks along Leif Erickson Drive as feasible to Tongue Point.
- 2 Extend RiverWalk Trail along railroad trestle to Tongue Point. Opportunity to connect trestle to the Alderbrook Neighborhood near 45th Street with a bridge.
- 3 Improve pedestrian and bicycle access from Alderbrook neighborhood to extension of RiverWalk Trail west end.
- 4 Improve pedestrian and bicycle access from Alderbrook neighborhood to extension of RiverWalk Trail east end.



ASTORIA RIVERFRONT VISION PLAN  
TRANSPORTATION OPPORTUNITIES  
OCTOBER 2008

## NEIGHBORHOOD GREENWAY